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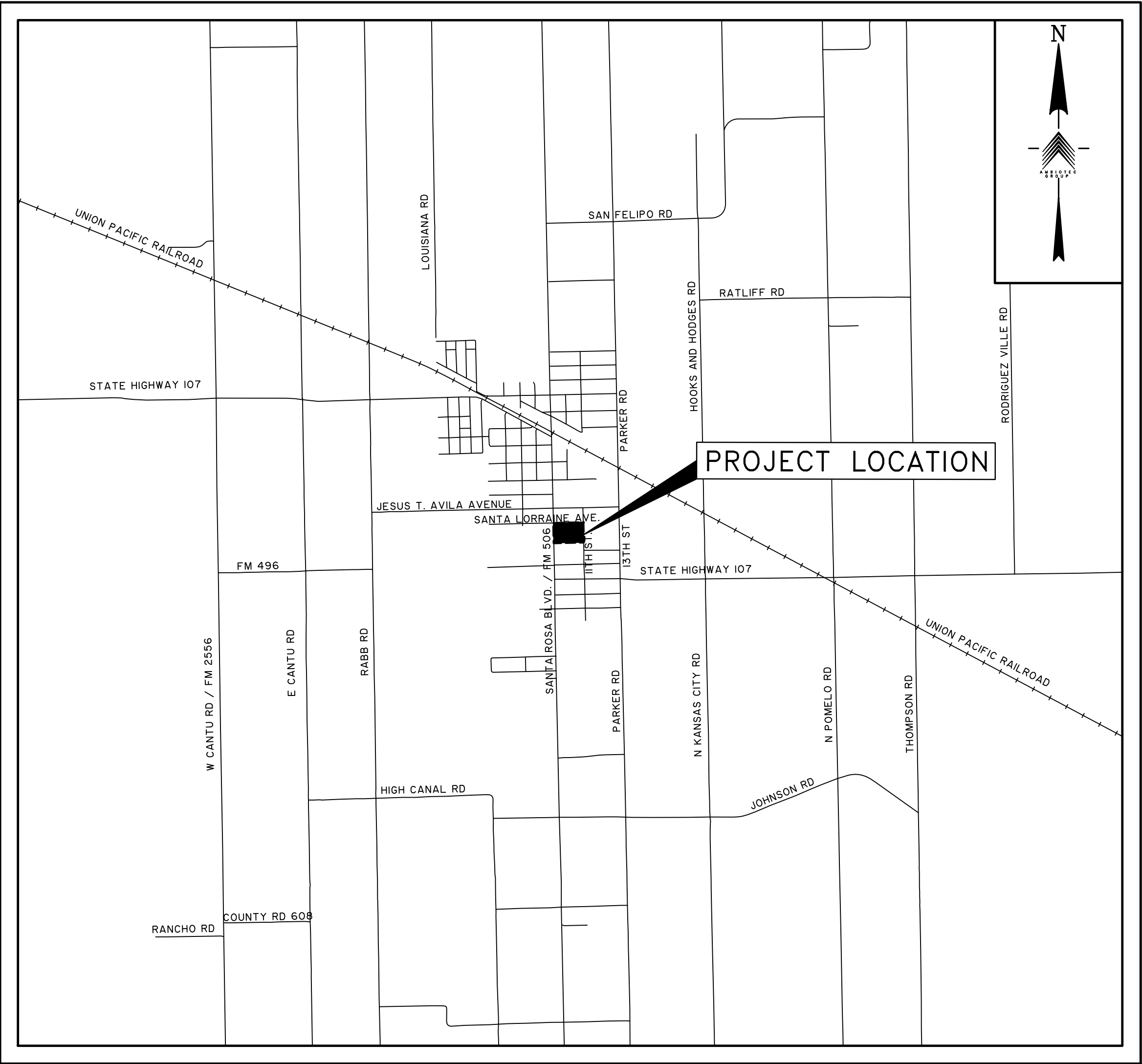


# D R A W I N G I N D E X

Feb 01, 2023 - 4:06pmC:\Users\rqg\Dropbox\Cameron County Santa Rosa Park Phase II\cover.dwg



CONSTRUCTION PLANS  
FOR  
PARK PARKING LOT IMPROVEMENTS  
SANTA ROSA, TEXAS



VICINITY MAP  
SCALE: 1"=2000'

DECEMBER 2022  
PREPARED BY AMBIOTEC CIVIL ENGINEERING GROUP, INC.

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SCALE: 1"=2000'	DATE: DEC. 2022
DESIGN BY: K. SALDIVAR	
DRAWN BY: E. LUNA	
CHECKED BY: K. SALDIVAR	
APPROVED BY: V. MENDEZ	
PROJECT NO.: 3722	

SHEET

1

OF 8

PARK PARKING LOT IMPROVEMENTS

PREPARED FOR: CITY OF SANTA ROSA



*V. Mendez*

AMBIOTEC  
CIVIL ENGINEERING GROUP, INC.

5420 Pinedale Line Road  
Brownsville, Texas 78526

For: (361)546-5399  
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TBPE FIRM No. F-4126  
TBPLS REG No. 10093300



V:\3722 - Gomez Murdoy - Santa Rosa Park Parking Lot Improvements\Drawings\General Notes.dwg    User: Gmomez Murdoy    Date: 12/12/2022    Time: 2:44pm

GENERAL NOTES

\* PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL SCHEDULE A PRECONSTRUCTION CONFERENCE BETWEEN THE OWNER & THE CONSULTING ENGINEER, CONTRACTOR, BPUB AND ALL OTHER AFFECTED PARTIES.

\* CONTRACTOR TO KEEP ACCESS PUBLIC ROADS OPEN AT ALL TIMES FOR EMPLOYEES. AREA USED FOR CONTRACTOR'S PERSONNEL PARKING, MATERIAL STORAGE, STOCKPILE, MATERIAL FABRICATION, AND RELATED CONSTRUCTION USES ARE NOT TO INTERFERE WITH NORMAL TRAFFIC.

\* CONTRACTOR TO GIVE NOTICE IN WRITING TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCEMENT OF WORK.

\* CONTRACTOR SHALL PERSONALLY ENSURE THAT ALL CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF WORK. REQUIRED PERMITS THAT CAN BE ISSUED ONLY TO CONTRACTOR SHALL BE OBTAINED AT NO EXPENSE TO THE OWNER.

\* UTILITY NOTE: THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED UPON RECORD INFORMATION ONLY, AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, HORIZONTAL AND VERTICAL OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, EXISTING OR ABANDONED. NO SEPARATE PAY. THE INFORMATION SHOWN CONCERNING TYPE AND LOCATIONS OF UNDERGROUND AND OVERHEAD UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITIES. THE CONTRACTORS INFORMATION SHALL BE CONDUCTED TO PREVENT UNNECESSARY INTERFERENCE WITH ANY EXISTING UTILITY SYSTEM INFRASTRUCTURE. IF THE CONTRACTOR'S WORK REQUIRES INTERRUPTION, THE CONTRACTOR MUST COORDINATE WITH AFFECTED UTILITY COMPANIES 48 HOURS IN ADVANCE.

\* THROUGHOUT THE CONSTRUCTION, AND AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR IS TO ENSURE THAT DRAINAGE OF STORM WATER RUNOFF IS NOT BLOCKED. MAINTAIN DRAINAGE OF SITE DURING ALL PHASES OF CONSTRUCTION. DO NOT BLOCK DRAINAGE FROM ADJACENT AREAS NOR ADD FLOW TO ADJACENT AREAS.

\* THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION IN A PARTICULAR AREA.

\* DAMAGES DONE TO EXISTING UTILITIES, POWER POLES, FENCES, SIGNS, MAILBOXES, DRIVEWAYS, CULVERTS, PAVEMENT, DRAINAGE SYSTEMS, ETC., SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. DRIVEWAYS SHALL BE REPAIRED ON A LIKE FOR LIKE BASIS.

\* THE CONTRACTOR SHALL HAVE A PERSON ON CALL 24 HOURS A DAY TO TAKE CARE OF MAINTENANCE ITEMS-CONSTRUCTION AREA, SIGNS ETC. THIS PERSON SHALL HAVE AUTHORITY TO ACT ON BEHALF OF THE CONTRACTOR IN EMERGENCY CONDITIONS. THE PERSON SHALL BE STATIONED CLOSE ENOUGH TO BE ON SITE WITHIN 1/2 HOUR OF NOTIFICATION. THE PERSON SHALL BE IDENTIFIED IN WRITING PRIOR TO THE START OF CONSTRUCTION. THE ON-SITE REPRESENTATIVE SHALL HAVE ACCESS TO ALL EQUIPMENT AND MATERIAL AND HAVE FULL AUTHORITY NECESSARY TO CORRECT ANY PROBLEMS, DEFICIENCIES, OR EMERGENCIES WHICH MAY ARISE, DURING NON-WORKING HOURS, AND DURING THE ABSENCE OF THE SUPERINTENDENT.

\* EXCESS SPOIL PRODUCED DURING PREPARATION OF THE SUB-GRADE SHALL BE PLACED SPREAD AND COMPACTED ON-SITE IN AREAS AS INSTRUCTED BY THE ENGINEER TO ACHIEVE ADEQUATE GRADING. ANY UNUSABLE MATERIAL WILL BECOME THE PROPERTY OF THE CONTRACTOR TO BE PROPERLY DISPOSED OF AT HIS EXPENSE OR TO HIS ADVANTAGE.

\* THE CONTRACTOR WILL PROVIDE HIS OWN CONSTRUCTION STAKING.

\* CONTRACTOR TO MATCH EXISTING PAVEMENT, SIDEWALK RAMPS AND CURB & GUTTER PAVEMENT OR ANY OTHER IMPROVEMENTS WHERE APPLICABLE.

\* ALL CONCRETE AND ASPHALT DRIVEWAYS ADJUSTED, DAMAGED, OR REPLACED DURING CONSTRUCTION MUST BE SAW-CUT AT A STRAIGHT, NEAT LINE, BEFORE REPAIRING.

\* ABANDONED LINES FOUND DURING CONSTRUCTION SHALL BE REMOVED (UNLESS SPECIFIED OTHERWISE). NO SEPARATE PAY. THIS WORK SHALL BE SUBSIDIARY TO OTHER WORK.

\* THE CONTRACTOR SHALL PLACE BARRICADES, FLAG-MEN, ETC. ON THIS PROJECT IN COMPLIANCE WITH THE PROCEDURE OUTLINED IN THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS." (PART IV TRAFFIC CONTROLS FOR STREET AND HIGHWAY CONSTRUCTION AND MAINTENANCE OPERATIONS, LATEST REVISION). UPON COMPLETION OF THE WORK, ALL SIGNS SHALL BE REMOVED BY THE CONTRACTOR.

\* REFERENCE POINTS: THE ENGINEER WILL ESTABLISH HORIZONTAL AND VERTICAL CONTROLS ONLY. (REFERENCE POINTS AND BENCHMARKS AS SHOWN ON THE CONSTRUCTION PLANS.) THE CONTRACTOR MUST NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING WORK ON ANY SECTION OR PART OF THE WORK WHERE CONTROLS HAVE NOT BEEN ESTABLISHED OR ARE NOT IDENTIFIABLE OR VISIBLE TO THE CONTRACTOR. THE ENGINEER WILL UPON SUCH ADVANCE NOTICE WILL REPLACE ANY CONTROL POINTS THAT HAVE BEEN DESTROYED BY OTHERS PRIOR TO BEGINNING OF CONTRACTORS OPERATIONS. AFTER CONTROL POINTS ARE ESTABLISHED AND / OR IDENTIFIED AS OUTLINED ABOVE, MAINTENANCE OF SUCH CONTROL POINTS SHALL BE RESPONSIBILITY OF THE CONTRACTOR. ANY RE-STAKING REQUIRED FOR ANY REASON THEREAFTER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL PROVIDE ALL OTHER CONSTRUCTION STAKING (CUT STAKES, BLUE TOPPING, INTERMEDIATE STRING LINE CONTROL, ETC.) REQUIRED TO VERIFY GRADES, DEPTHS THICKNESSES, AND ALIGNMENT OF THE VARIOUS ITEMS OF CONSTRUCTION.

\* **AS BUILT DRAWINGS:** THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A SET OF AS-BUILT PLANS SHOWING NOTES TO ANY CHANGES TO THE DESIGN PLANS. THIS INFORMATION, SIGNED BY ALL INSPECTORS, WILL BE SUBMITTED TO THE ENGINEER AT THE END OF CONSTRUCTION. THE PROJECT'S FINAL ACCEPTANCE AND FINAL PAYMENT WILL NOT BE APPROVED UNTIL THE CONTRACTOR HAS SUBMITTED THE REQUIRED INFORMATION NEEDED BY THE ENGINEER FOR AS-BUILT DRAWINGS.

\* CONCRETE CURB AND GUTTER, PIPE STRUCTURES, ETC. WHICH MUST BE REMOVED IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS WILL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AND PROPERLY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO THE VARIOUS BID ITEMS IN THE CONTRACT.

\* MATERIALS CERTIFICATION AND TESTING: CONTRACTOR SHALL PROVIDE SUPPLIERS CERTIFICATION FOR ALL PROJECT MATERIALS (CONCRETE, HYDRATED LIME, LIME-STONE BASE MATERIAL, PRE-CAST INLETS, PIPES, ETC.) THAT SUCH MATERIALS DO MEET PROJECT SPECIFICATIONS PRIOR TO DELIVERY ON-SITE. CONTRACTOR SHALL PROVIDE HOT MIX ASPHALTIC CONCRETE DESIGN FROM A REPUTABLE COMMERCIAL TESTING LABORATORY.

\* STANDARD WORK HOURS: THE STANDARD WORK HOURS FOR THE OWNER IS 8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY. SHOULD THE CONTRACTOR ELECT TO WORK ON SATURDAY, SUNDAYS OR HOLIDAYS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING OVERTIME CHARGES FOR THE OWNER'S PERSONNEL INVOLVED. THESE CHARGES WILL BE AT COST AND WILL BE CALCULATED EITHER AT TIME AND A HALF OR DOUBLE TIME, AS APPLICABLE TO THE PARTICULAR DAY BEING WORKED. PRE-APPROVAL SHALL BE OBTAINED FROM THE ENGINEER OR ENGINEER'S REPRESENTATIVE BY COMPLETING AND SIGNING A OWNER'S FORM ENTITLED "CONSTRUCTION INSPECTORS OVERTIME COMPENSATION AUTHORIZATION", 48 HRS. PRIOR TO COMMENCING ANY OVERTIME WORK. ANY WORK DONE OUTSIDE THE STANDARD WORKDAY, WITHOUT PRIOR AUTHORIZATION, SHALL BE CONSIDERED UNAUTHORIZED WORK. THE CONTRACTOR IS REQUIRED TO PAY THE OVERTIME WAGES OF THE OWNER INSPECTORS THAT WORK OVERTIME MONDAYS THROUGH FRIDAYS AT TIME AND A HALF. THE CONTRACTOR IS RESPONSIBLE FOR THE OVERTIME WAGES OF THE OWNER INSPECTORS THAT WORK HOLIDAYS AT DOUBLE TIME. MINIMUM HOURS WILL BE BILLED TO CONTRACTOR FOR CALLOUTS OR FOR INSUFFICIENT NOTICE OF TWO (2) HOURS.

CONCRETE MIX DESIGN

\* CLARIFICATION: ALL CONCRETE USED ON THIS PROJECT SHALL CONTAIN A MINIMUM 4.5 SACKS OF CEMENTITIOUS MATERIAL PER CUBIC YARD OF CONCRETE. THE CEMENTITIOUS MATERIAL SHALL BE PORTLAND CEMENT OR A BLEND OF PORTLAND CEMENT AND FLY ASH. THE PERCENTAGE OF FLY ASH IN THE CEMENTITIOUS MATERIAL SHALL NOT EXCEED 23%. ALL CONCRETE WORK SHALL CONTAIN 1.5 POUNDS OF FIBER MESH PER CUBIC YARD.

\* ALL EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH CURING COMPOUND RESIN BASE ASTM C 309 TYPE 2 WITH PIGMENTED TINT OF FUGITIVE DYE.

\* IN ADDITION TO THE ABOVE REQUIREMENTS, ALL CONCRETE SHALL TEST TO A MINIMUM 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. (OR AS SHOWN ON PLANS).

\* EXPANSION JOINTS WILL BE PLACED AT CURB RETURNS, INLETS AND AT THE END OF EACH POUR WITH INTERVALS NOT TO EXCEED 60 FT. JOINTS SHALL CONSIST OF 1/2" PRE-MOLDED EXPANSION JOINT MATERIAL WITH 3, 36" X 1/2" DOWELS, ONE END GREASED AND WRAPPED. CARE MUST BE TAKEN THAT DOWELS ARE STRAIGHT AND LAID PARALLEL WITH CURB AND NO CONCRETE PLUGS OR OTHER MATERIAL BE ALLOWED THROUGH THE DOWEL HOLES OR EXPANSION MATERIAL WHICH WOULD PREVENT THE JOINT FROM OPERATION AS AN EXPANSION JOINT. EXPANSION JOINT MATERIALS SHALL BE PRE-MOLDED ASPHALT IMPREGNATED EXPANSION JOINT MATERIAL CONFORMING WITH ASTM D 994 ( NOT WOOD FIBER TYPE )

\* DUMMY JOINTS (SAW CUT JOINTS) SHALL BE 2" DEEP AND PLACED AT MAXIMUM 15 FT. INTERVALS.

\* WHEN CONNECTING TO EXISTING CURB AND GUTTER, THE CONTRACTOR SHALL DRILL AND DOWEL TWO, # 6 X 16" TIE BARS A MINIMUM OF 6" DEEP INTO EXISTING CURB AND GUTTER SECTION.

PAVING NOTES:

CRUSHED LIMESTONE:

THE CRUSHED LIMESTONE MATERIALS SHALL BE AS SPECIFIED BY "ITEM 247 FLEXIBLE BASE TYPE A GRADE 1." TEXAS DEPARTMENT OF TRANSPORTATION, 2014 STANDARD SPECIFICATION FOR CONSTRUCTION OF HIGHWAYS, STREETS, AND BRIDGES SHALL MEET THE REQUIREMENTS AS FOLLOWS:

\* TYPE A MATERIAL SHALL BE CRUSHED STONE PRODUCED FROM OVERSIZE QUARRIED AGGREGATE, SIZED BY CRUSHING AND PRODUCED FROM A NATURALLY OCCURRING SINGLE SOURCE. CRUSHED GRAVEL OR UNCRUSHED GRAVEL SHALL NOT BE ACCEPTABLE FOR TYPE A MATERIAL. NO BLENDING OF SOURCES AND/OR ADDITIVE MATERIALS WILL BE ALLOWED IN TYPE A MATERIAL.

\* TRIAXIAL CLASS I: MINIMUM COMPRESSIVE STRENGTH, 45 AT OPSI LATERAL PRESSURE AND 175 AT 15 PSI LATERAL PRESSURE.

RETAINED ON SQUARE SIEVE NUMBER	PERCENT RETAINED
1-3/4" (44 MM)	0
7/8" (22.23 MM)	10-35
3/8" (9.5 MM)	30-50
NUMBER 4 (4.75 MM)	45-65
NUMBER 40 (0.425 MM)	70-85

MATERIAL PASSING THE NUMBER 40 SIEVE SHALL BE KNOWN AS "BINDER MATERIAL" AND SHALL MEET THE FOLLOWING REQUIREMENTS:

MAXIMUM LIQUID LIMIT ( LL )	= 35
MAXIMUM PLASTICITY INDEX ( PI )	= 10
WET BALL MILL (MAX)	= 40
CALIFORNIA BEARING RATIO (MIN)	= 100

ALL AGGREGATE RETAINED ON THE NUMBER 10 SIEVE SHALL BE COMPRISED OF ONLY CRUSHED LIMESTONE.

THE CONTRACTOR SHALL NOT PLACE CRUSHED LIMESTONE ON THE ROAD BED UNTIL THE ENGINEER HAS ACCEPTED THE SHAPED AND COMPACTED SUBGRADE.

THE CONTRACTOR MUST MAINTAIN THE ROAD BED FREE OF HOLES, RUTS AND DEPRESSIONS AND IN CONDITION TO RECEIVE THE CRUSHED LIMESTONE.

THE CONTRACTOR UPON REQUEST SHALL PROVIDE CERTIFICATION THAT THE MATERIAL SUPPLIED MEETS THE ABOVE REQUIREMENTS PRIOR TO DELIVERY TO THE JOB SITE. SAMPLES FOR TESTING OF THE MATERIAL MUST BE TAKEN PRIOR TO THE COMPACTION OPERATIONS.

CRUSHED LIMESTONE: GRADE 3

IF TYPE A, GRADE 1 CRUSHED LIMESTONE IS NOT AVAILABLE, CONTRACTOR MAY USE TXDOT 2014 SPECIFICATION ITEM 247, GRADE 3 FLEXIBLE BASE MATERIALS. (ALANZA BASE BY VULCAN OR APPROVED EQUAL)

ACCEPTANCE, SAMPLING, AND TESTING OF BITUMINOUS MIXTURE ( COMPACTION )

\* EXTRACTION AND GRADATION ANALYSIS: PER 500 TONS OR WHICHEVER IS GREATER.

\* DENSITY AND DEPTH TESTING: PER 500 FEET OF PAVING REPAIR. MINIMUM DENSITY ACCEPTED: 92% OF AVERAGE MAXIMUM THEORETICAL DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D 2041.

CORES OR SAWED SAMPLES TAKEN FROM THE PAVEMENT SHALL BE USED TO DETERMINE THE FIELD DENSITY. DENSITY OF THE CORED OR SAWED SAMPLES SHALL BE DETERMINED IN ACCORDANCE WITH ASTM 2725. THE SAME SPECIMEN SHALL BE USED FOR DETERMINING BOTH THE MAXIMUM THEORETICAL DENSITY AND THE FIELD DENSITY.






SPECIMENS TO BE USED FOR FIELD DENSITY DETERMINATION SHALL BE DONE USING HEAT. IF HEATING IS NECESSARY, THE SPECIMEN SHOULD BE HEATED TO THE LOWEST TEMPERATURE REQUIRED FOR PROPER PREPARATION OF THE SAMPLE; THE USE OF NUCLEAR FIELD DENSITY DETERMINATION SHALL NOT BE USED AS A BASIS FOR ACCEPTANCE WITH RESPECT TO DENSITY :

\* HVEEM STABILITY SHALL NOT BE LESS THAN 30%. STABILITY TEST SHALL BE TAKEN TWICE DAILY.

\* RETAINED STABILITY WHEN TESTED IN ACCORDANCE WITH ASTM D 1075 SHALL NOT BE <70%

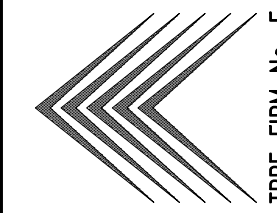
\* NO MORE THAN 2 1/4" FINISHED THICKNESS HMAC PAVEMENT SHALL BE LAID AT ANY GIVEN TIME. UNLESS APPROVAL IS OBTAINED AHEAD BY THE OWNER / ENGINEER.

LEGEND

EXISTING		PROPOSED	
	POST		BANK LINE
	CLEANOUT		GRADE TO DRAIN SLOPE
	LIGHTPOLE		SWALE WITH DIRECTION
	DISTRIBUTION POWERPOLE		HATCH FOR REMOVAL ITEMS
	PALM TREE		2" HMAc PAVEMENT
	TREE		PROP. TOP OF SIDEWALK
	WATER VALVE		PROP. TOP OF CURB
	IRRIGATION CONTROL VALVE		PROP. FLOW LINE
	WATER BIB		PROP. FINISH GRADE
	FIRE HYDRANT		PROP. TOP OF PAVEMENT
	SPRINKLER		FINISH FLOOR ELEVATION
	MANHOLE	EXIST.	EXISTING
	MAILBOX	CONC.	CONCRETE
	SIGN	TYP.	TYPICAL
	TELEPHONE PEDESTAL	PROP.	PROPOSED
	ELECTRIC BOX	TEMP.	TEMPORARY
	ELECTRIC METER	O.C.	ON CENTER
	FLOOD LAMP	O.C.E.W.	ON CENTER EACH WAY
	ELECTRICAL TRANSFORMER	C-C	CENTER TO CENTER
	CABLE TV PEDESTAL	R.O.W.	RIGHT-OF-WAY
	UNDERGROUND TELEPHONE LINE	C.F.	CUBIC FEET
	UNDERGROUND ELECTRIC LINE	C.Y.	CUBIC YARDS
	OVERHEAD ELECTRIC DISTRIBUTION LINE	MIN.	MINIMUM
	BANK LINE	MAX.	MAXIMUM
	BA BANK LINE DESCRIPTION WITH ELEVATION	INCL.	INCLUDING
	BU BUILDING DESCRIPTION WITH ELEVATION	LF	LINEAR FEET
	CC CONCRETE DESCRIPTION WITH ELEVATION	EL	ELEVATION
	FL FLOW LINE DESCRIPTION WITH ELEVATION	MEP	MECHANICAL, ELECTRICAL & PLUMBING
	FF FINISH FLOOR DESCRIPTION WITH ELEVATION	HMAC	HOT MIX ASPHALT CONCRETE
	GUT GUTTER DESCRIPTION WITH ELEVATION	W/	WITH
	PLR PLANTER DESCRIPTION WITH ELEVATION	F.H.	FIRE HYDRANT
	RCP REINFORCED CONCRETE PIPE	P.S.I.	POUNDS PER SQUARE INCH
	SE SPOT ELEVATION	A.D.A.	AMERICANS WITH DISABILITIES ACT
	WK SIDEWALK DESCRIPTION WITH ELEVATION		
	CONCRETE		
	ASPHALT		
	DIRT ROAD		
	ELEVATION		

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TEBIS REG No. F-4126  
TBPLS REG No. 10005300



PARK PARKING LOT IMPROVEMENTS

PREPARED FOR: CITY OF SANTA ROSA

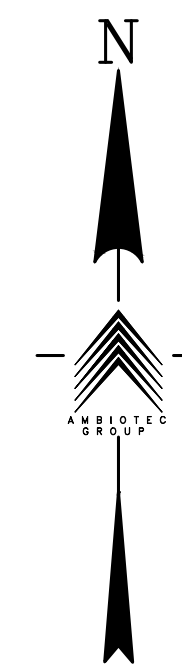
GENERAL NOTES

SCALE: N.T.S.	DATE: DEC 2022
DESIGN BY: K. SALDIVAR	
DRAWN BY: E. LUNA	
CHECKED BY: K. SALDIVAR	
APPROVED BY: V. MENDEZ	
PROJECT NO.: 3722	



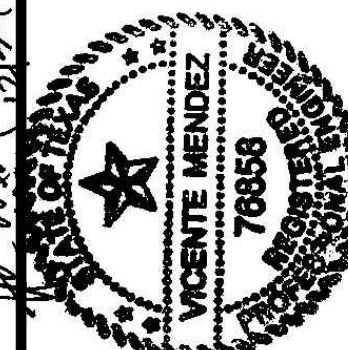






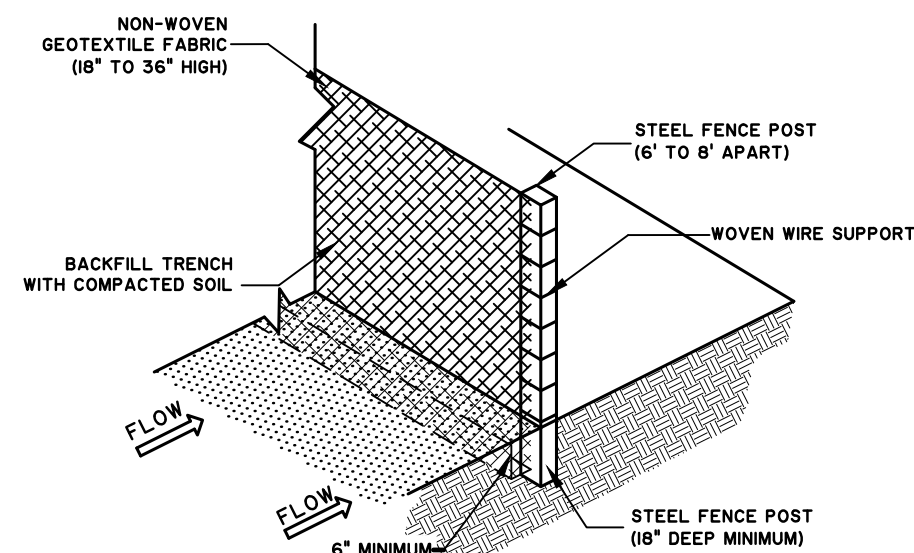
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5420 Paredes Line Road  
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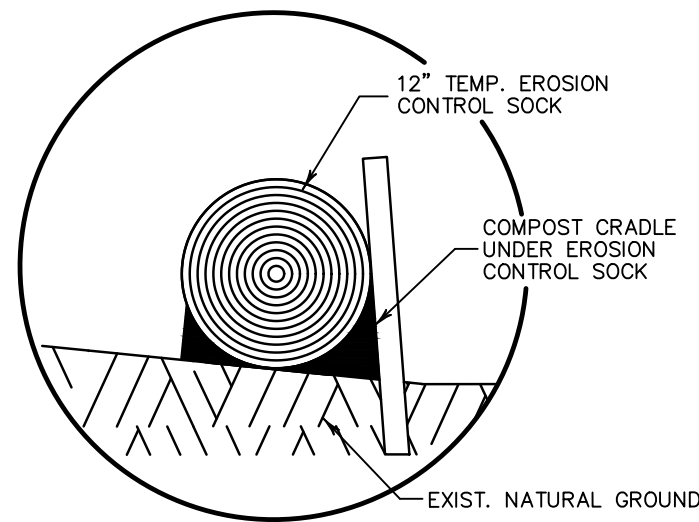




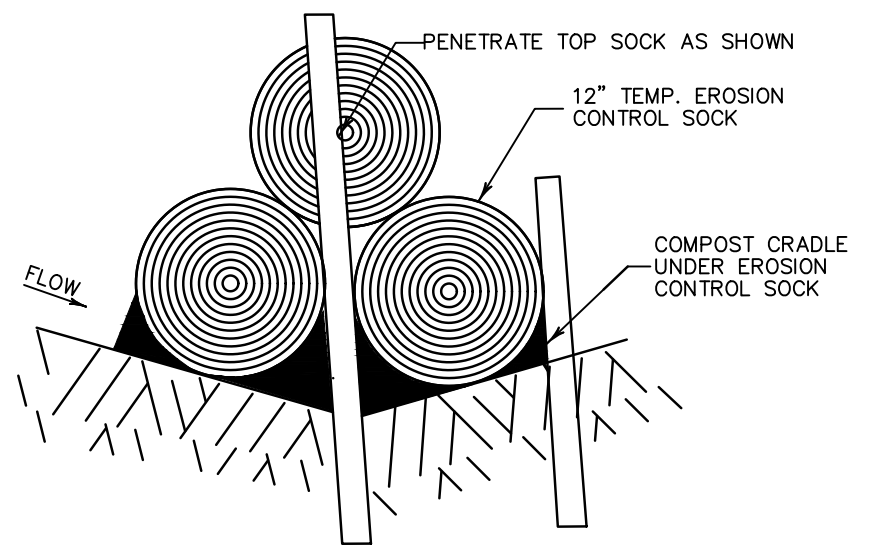
13-3722 - Santa Rosa Park Parking Lot Improvements Using Erosion Control Details  
13-3722 - Santa Rosa Park Parking Lot Improvements Using Erosion Control Details  
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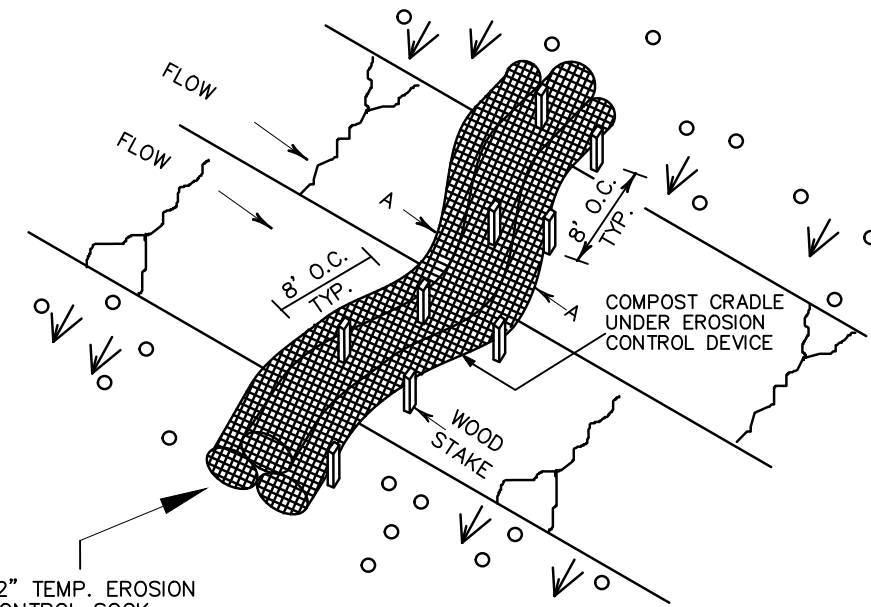
SILT FENCE DETAIL



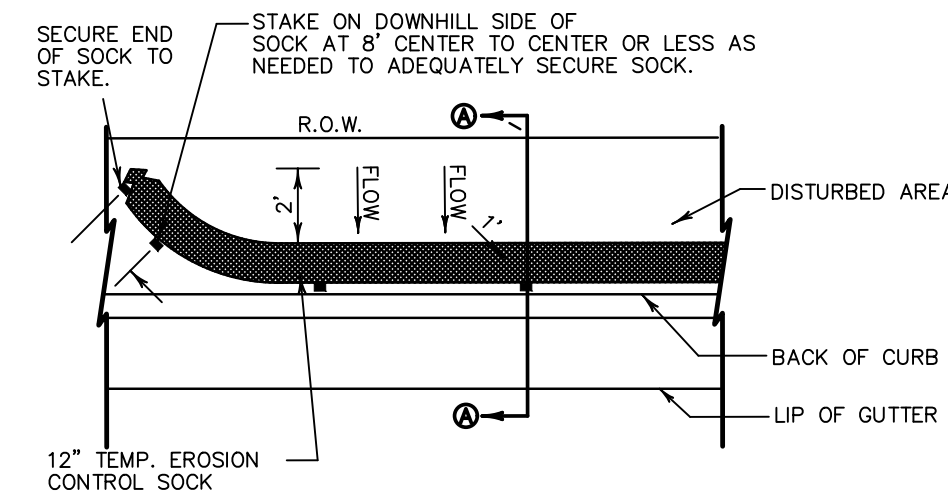
COMPOST CRADLE  
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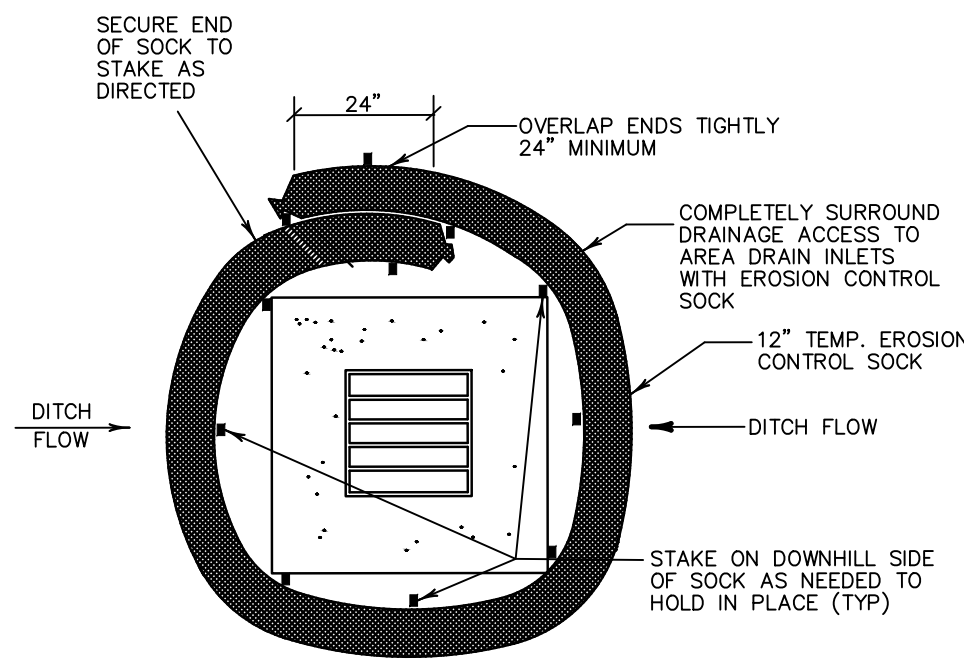
DITCH LINE SEDIMENT TRAP A-A  
NTS



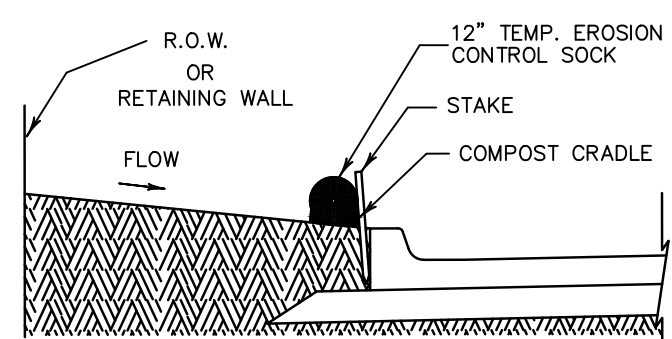
DITCH LINE SEDIMENT TRAP  
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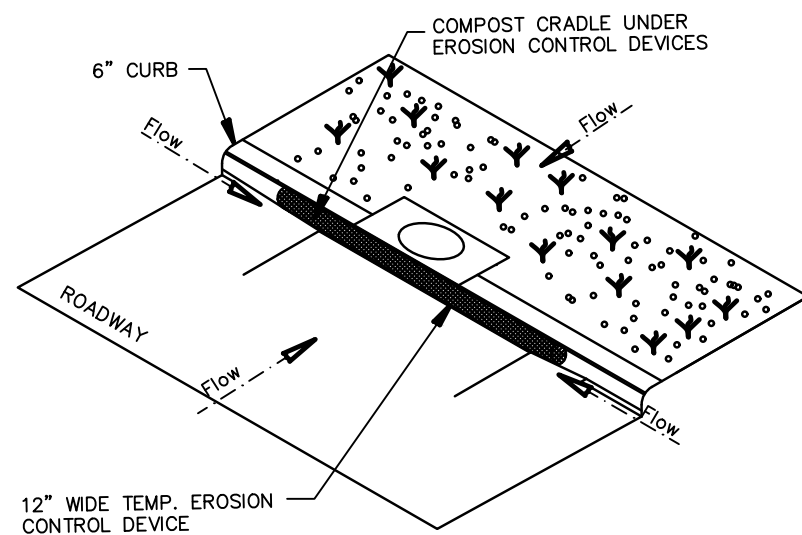
PLAN VIEW  
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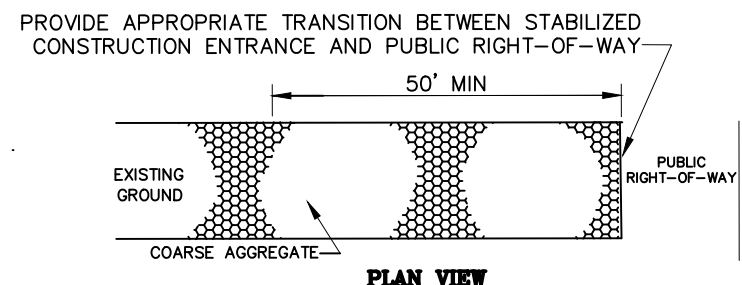
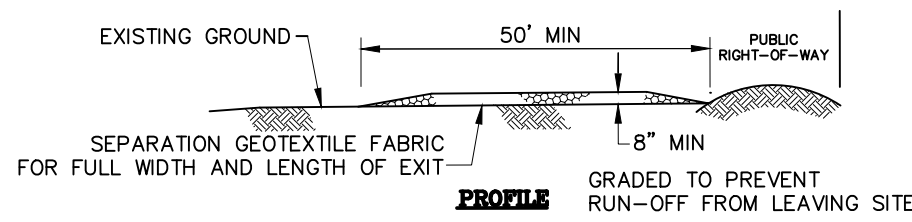
TYPE 'C' INLET SEDIMENT TRAP  
NTS



SECTION A-A  
BACK OF CURB INLET SEDIMENT TRAP  
NTS



CURB INLET SEDIMENT TRAP  
NTS

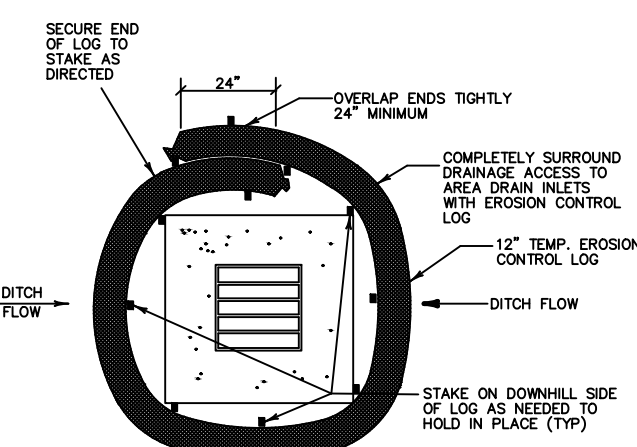


- CONSTRUCTION NOTES:
1. LENGTH SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWINGS, BUT NOT LESS THAN 50 FEET.
  2. THICKNESS SHALL BE NOT LESS THAN 8 INCHES.
  3. WIDTH SHALL BE NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
  4. STABILIZATION FOR OTHER AREAS SHALL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION EXIT, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS.
  5. STABILIZED AREA MAY BE WIDENED OR LENGTHENED TO ACCOMMODATE A TRUCK WASHING AREA. AN OUTLET SEDIMENT TRAP MUST BE PROVIDED FOR THE TRUCK WASHING AREA.
  6. STABILIZED CONSTRUCTION EXIT SHALL BE MAINTAINED FREE OF SEDIMENT FOR THE DURATION OF THE PROJECT.

STABILIZED CONSTRUCTION EXIT  
NTS

### TEMPORARY STABILIZATION

ANY AREA LEFT DISTURBED FOR MORE THAN 21 DAYS SHALL BE TEMPORARILY REVEGETATED WITH SEED AT THE DIRECTION OF THE ENGINEER.



DROP INLET SEDIMENT TRAP

### SEDIMENT BASIN & TRAP USAGE GUIDELINES

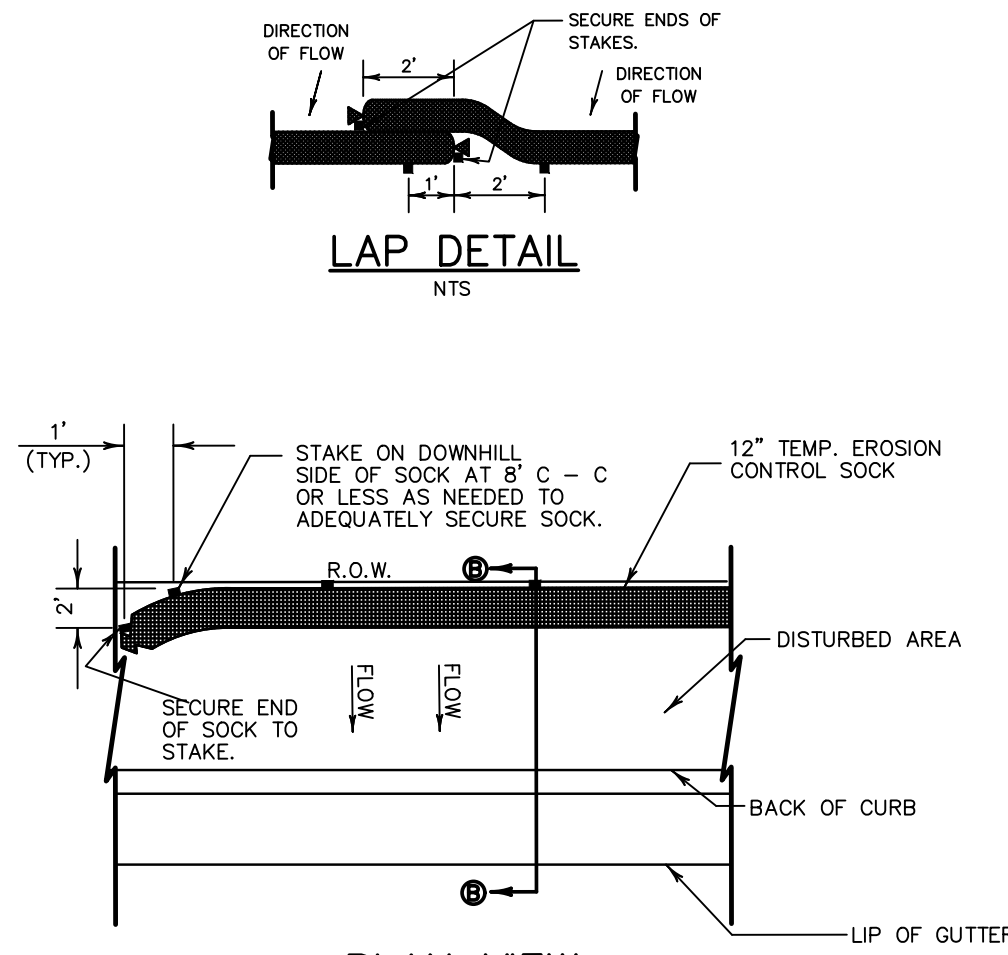
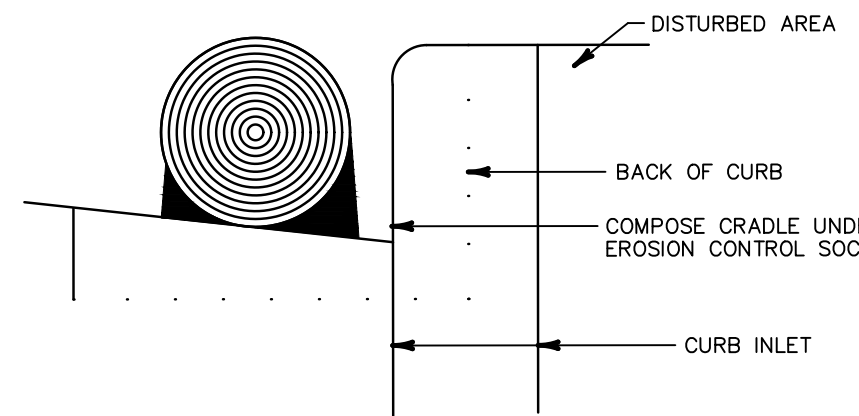
A SEDIMENT TRAP MAY BE USED TO PRECIPITATE SEDIMENT OUT OF RUNOFF DRAINING FROM AN UNSTABILIZED AREA.

TRAPS: THE DRAINAGE AREA FOR A SEDIMENT TRAP SHOULD NOT EXCEED 5 ACRES; THE TRAP CAPACITY SHOULD BE 1800 CF/ACRE (0.5\"/>

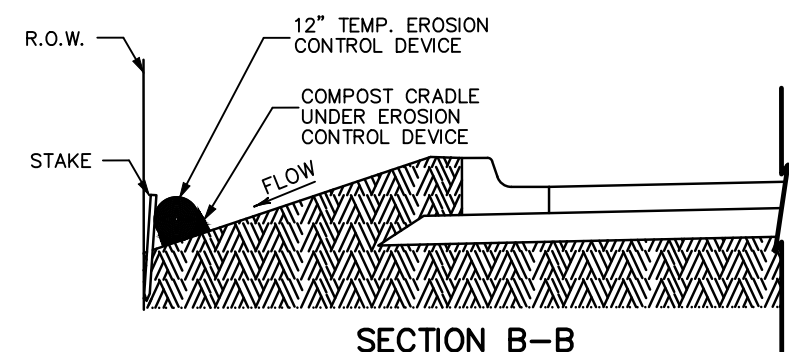
SEDIMENT TRAPS SHOULD BE PLACED IN THE FOLLOWING LOCATIONS:

1. IMMEDIATELY PRECEDING DRAIN INLETS
2. JUST BEFORE THE DRAINAGE ENTERS A WATER COURSE
3. JUST BEFORE THE DRAINAGE LEAVES THE RIGHT OF WAY
4. JUST BEFORE THE DRAINAGE LEAVES THE CONSTRUCTION LIMITS WHERE DRAINAGE FLOWS AWAY FROM THE PROJECT

THE TRAP SHOULD BE CLEANED WHEN THE CAPACITY HAS BEEN REDUCED BY 1/2 OR THE SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1', WHICHEVER IS LESS. CLEANING AND REMOVAL OF ACCUMULATED SEDIMENT DEPOSITS IS INCIDENTAL AND WILL NOT BE PAID FOR SEPARATELY.



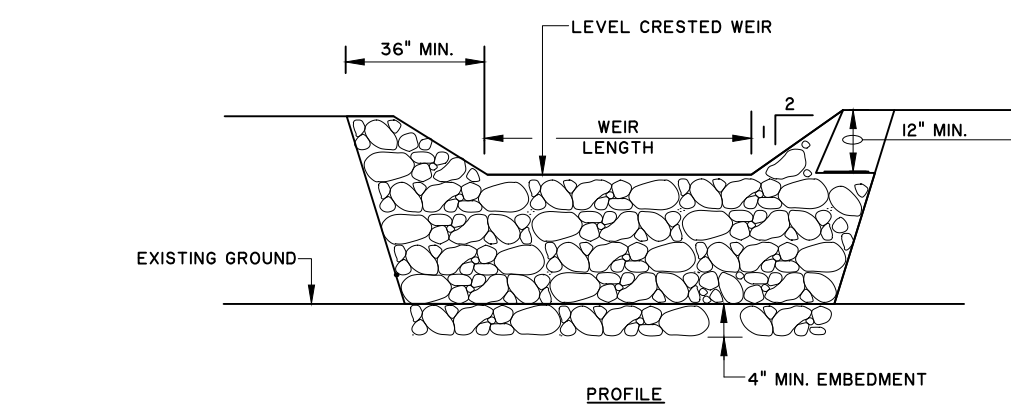
PLAN VIEW  
NTS



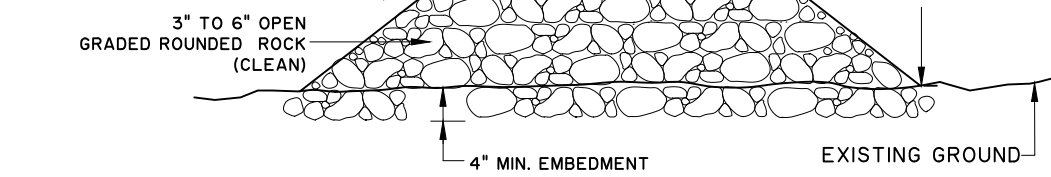
SECTION B-B  
RIGHT-OF-WAY SEDIMENT TRAP  
NTS

### GENERAL NOTES

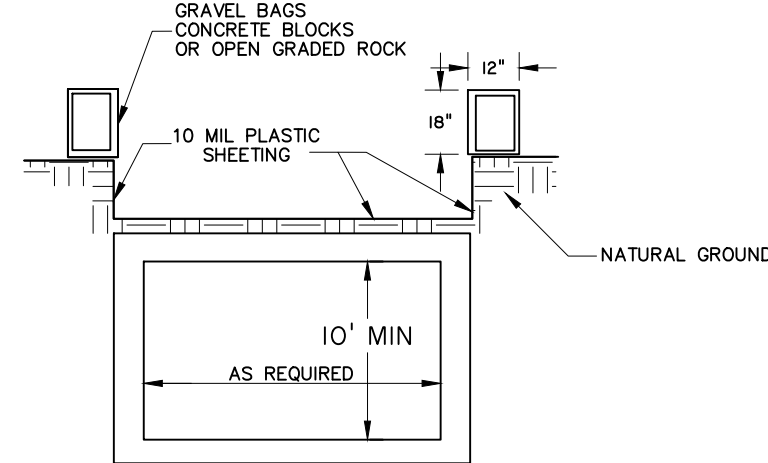
1. LENGTHS OF EROSION CONTROL SOCKS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED FOR THE PURPOSE INTENDED. MAXIMUM LENGTH OF SOCKS SHALL BE 30' FOR 12\"/>
2. UNLESS OTHERWISE DIRECTED, USE BIODEGRADABLE OR PHOTODEGRADABLE CONTAINMENT MESH ONLY WHERE SOCK WILL REMAIN IN PLACE AS PART OF A VEGETATIVE SYSTEM. FOR TEMPORARY INSTALLATIONS, USE RECYCLABLE CONTAINMENT MESH.
3. STUFF SOCKS WITH SUFFICIENT FILTER MATERIAL TO ACHIEVE DENSITY THAT WILL HOLD SHAPE WITHOUT EXCESSIVE DEFORMATION.
4. STAKES SHALL BE 2\"/>
5. COMPOST CRADLE MATERIAL IS INCIDENTAL AND WILL NOT BE PAID FOR SEPARATELY.



SECTION C-C



- ROCK FILTER DAM NOTES:
1. MAINTAIN A MINIMUM OF 1' BETWEEN TOP OF ROCK FILTER DAM WEIR AND TOP OF EMBANKMENT FOR FILTER DAMS AT SEDIMENT TRAPS.
  2. FILTER DAMS SHOULD BE EMBEDDED A MINIMUM OF 4\"/>
  3. FLOW OUTLET SHOULD BE ONTO A STABILIZED AREA (VEGETATION, ROCK, ETC.).



CONCRETE WASH OUT DETAIL  
NTS

1. THE EXCAVATION FOR THE CONCRETE TRUCK WASHOUT SHALL BE A MINIMUM OF 10 FEET WIDE AND OF SUFFICIENT LENGTH AND DEPTH TO ACCOMMODATE 7 GALLONS OF WASHOUT WATER AND CONCRETE PER TRUCK PER DAY AND/OR 50 GALLONS OF WASHOUT WATER AND CONCRETE PER PUMP TRUCK PER DAY.
2. IN THE EVENT THAT THE CONCRETE TRUCK WASHOUT IS CONSTRUCTED ABOVE GROUND, IT SHALL BE 10 FEET WIDE AND 10 FEET LONG, WITH THE SAME REQUIREMENTS FOR CONTAINMENT AS DESCRIBED IN ITEM 1.
3. THE CONTAINMENT AREA SHALL BE LINED WITH 10 MIL PLASTIC SHEETING WITHOUT HOLES OR TEARS, WHERE THERE ARE SEAMS, THESE SHALL BE SECURED ACCORDING TO MANUFACTURERS' DIRECTIONS.
4. THE BERM CONSISTING OF GRAVEL BAGS, CONCRETE BLOCKS OR OPEN GRADED ROCK SHALL BE NO LESS THAN 18 INCHES HIGH AND NO LESS THAN 12 INCHES WIDE.
5. THE PLASTIC SHEETING SHALL BE OF SUFFICIENT SIZE SO THAT IT WILL OVERLAP THE TOP OF THE CONTAINMENT AREA AND BE WRAPPED AROUND THE GRAVEL BAGS, CONCRETE BLOCKS OR OPEN GRADED ROCK AT LEAST 2 TIMES.
6. THE GRAVEL BAGS OR CONCRETE BLOCK SHALL BE PLACE ABUTTING EACH OTHER TO FORM A CONTINUOUS BERM AROUND THE OUTER PERIMETER OF THE CONTAINMENT AREA.
7. THE WASHOUT MATERIAL IN THE CONTAINMENT AREA SHALL NOT EXCEED 50% OF CAPACITY AT ANY TIME.
8. SOLIDS SHALL BE REMOVED FROM CONTAINMENT AREA AND DISPOSED OF PROPERLY. ANY DAMAGE TO THE PLASTIC SHEETING SHALL BE REPAIRED OR SHEETING REPLACED BEFORE THE NEXT USE.

AMBIOTEC  
CIVIL ENGINEERING GROUP, INC.  
5420 Ponderosa Lane Road  
Brownsville, Texas 78526  
Tel: (361)546-3399  
Fax: (361)546-3333  
TBPB FIRM No. F-4126  
TBPB REG. No. 10005300



PARK PARKING LOT IMPROVEMENTS  
PREPARED FOR: CITY OF SANTA ROSA

MINIMUM SUGGESTED EROSION  
CONTROL DETAILS

SCALE: N.T.S.	DATE: DEC. 2022
DESIGN BY: K. SALDIVAR	
DRAWN BY: E. LUNA	
CHECKED BY: K. SALDIVAR	
APPROVED BY: V. MENDEZ	
PROJECT NO.: 3722	







\\3722 - Games Mendez - Santa Rosa Park Parking Lot Improvements\3722 Grading Plan.dwg Jap 03/2023 - 2:45pm

SET IRON PIN  
N=16617381.25  
E=1205345.69  
EL=50.07

SAWCUT IN A NEAT  
STRAIGHT LINE &  
MATCH EXIST. GRADES

SANTA ROSA BLVD.

PROP. 1" ASPHALT OVERLAY  
MATCH EXIST. GRADES  
(SEE DETAIL SHEET 8)

PROP. 1" ASPHALT OVERLAY  
MATCH EXIST. GRADES  
(SEE DETAIL SHEET 8)

MATCH EXIST. ELEVATION  
N=16617355.12  
E=1205637.96

SANTA LORRAINE

MATCH EXIST. ELEVATION  
N=16617356.06  
E=1205681.58

MATCH NEW TOP OF PAVEMENT  
N=16617334.08  
E=1205672.31

ELECTRIC  
BOX  
ELECTRICAL  
CONTROL  
PANEL

BASEBALL FIELD

SOFTBALL FIELD

SET IRON PIN  
N=16617391.62  
E=1205998.33  
EL=50.18

N=16617341.82  
E=1205991.89

N=16617308.53  
E=1205994.06

N=1661736.37  
E=1205994.37

PROP. 1080 LF  
CHAIN LINK FENCE  
(SEE DETAIL SHEET 8)

PROP. 24 LF  
CHAIN LINK GATE  
(SEE DETAIL SHEET 8)

N=16616969.11  
E=1205998.62

N=16616943.06  
E=1205996.96

SANITARY  
MANHOLE  
TOP=50.18

BEGIN PROPOSED PARKING LOT  
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PROP. 340 LF  
3' WIDE CONC.  
VALLEY GUTTER

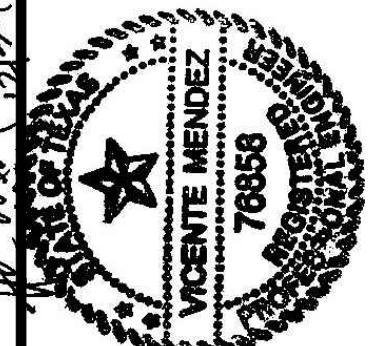
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END PROPOSED PARKING LOT  
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E=1206010.39

SANITARY  
MANHOLE  
TOP=49.99



16 Mar 2023



PARK PARKING LOT IMPROVEMENTS  
  
PREPARED FOR: CITY OF SANTA ROSA

GRADING PLAN

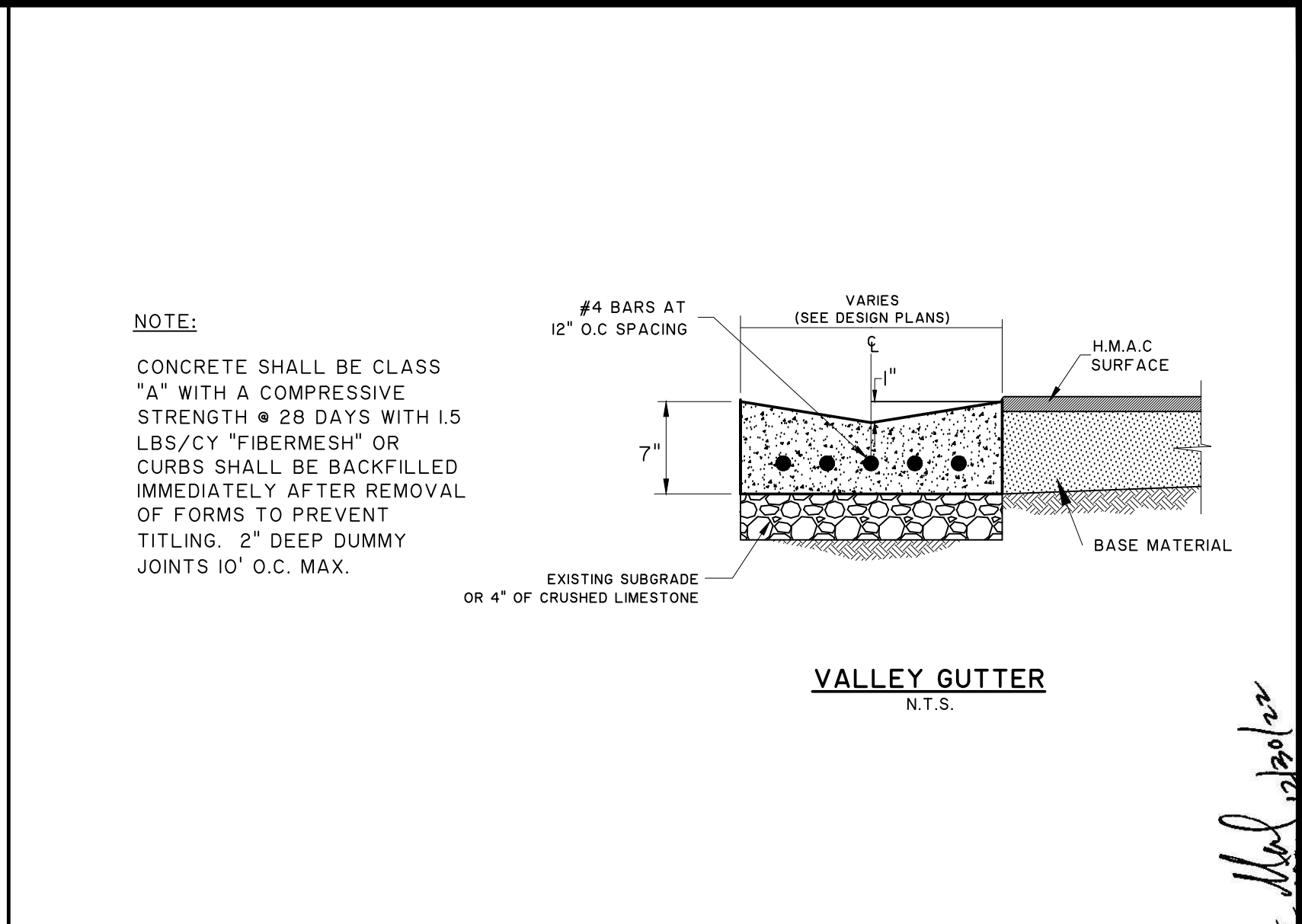
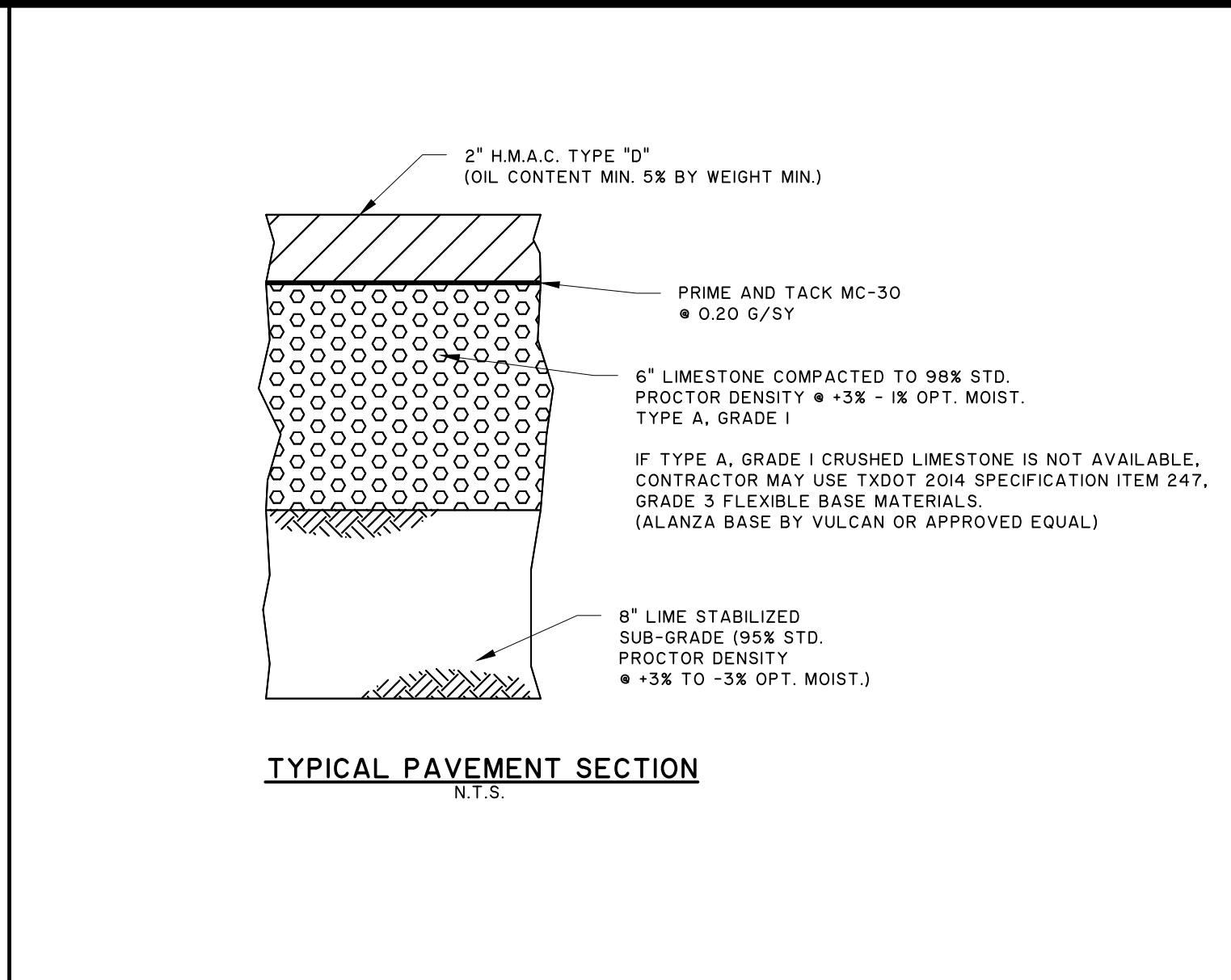
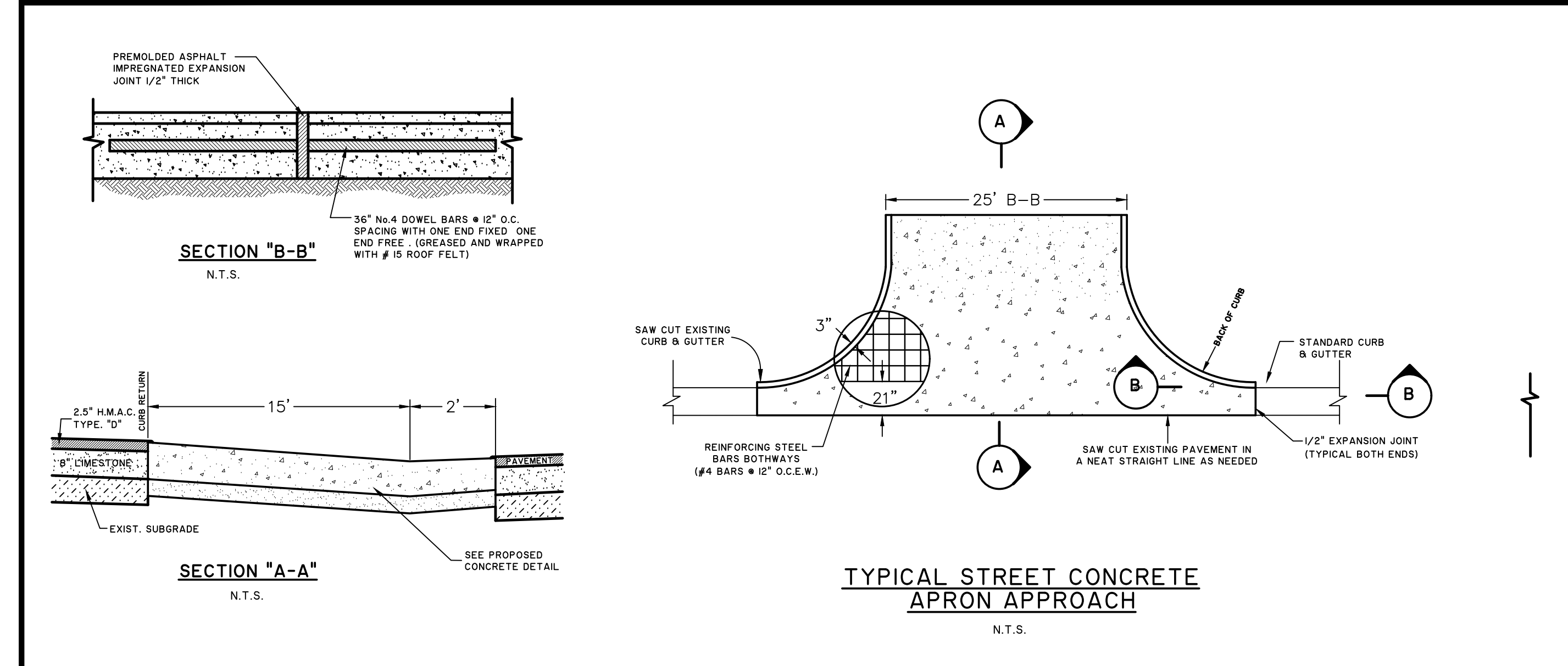
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DESIGN BY: K. SALDIVAR	
DRAWN BY: E. LUNA	
CHECKED BY: K. SALDIVAR	
APPROVED BY: V. MENDEZ	
PROJECT NO.: 3722	

SHEET  
**7**  
OF 08

AMBIOTEC  
CIVIL ENGINEERING GROUP, INC.  
5420 Pineda Line Road  
Brownsville, Texas 78526  
Tel: (361)548-3399  
(361)548-3333  
TBP REG. NO. F-4126  
TBP REG. NO. 1000300



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DATE: 03-20-2023 - 2:45pm



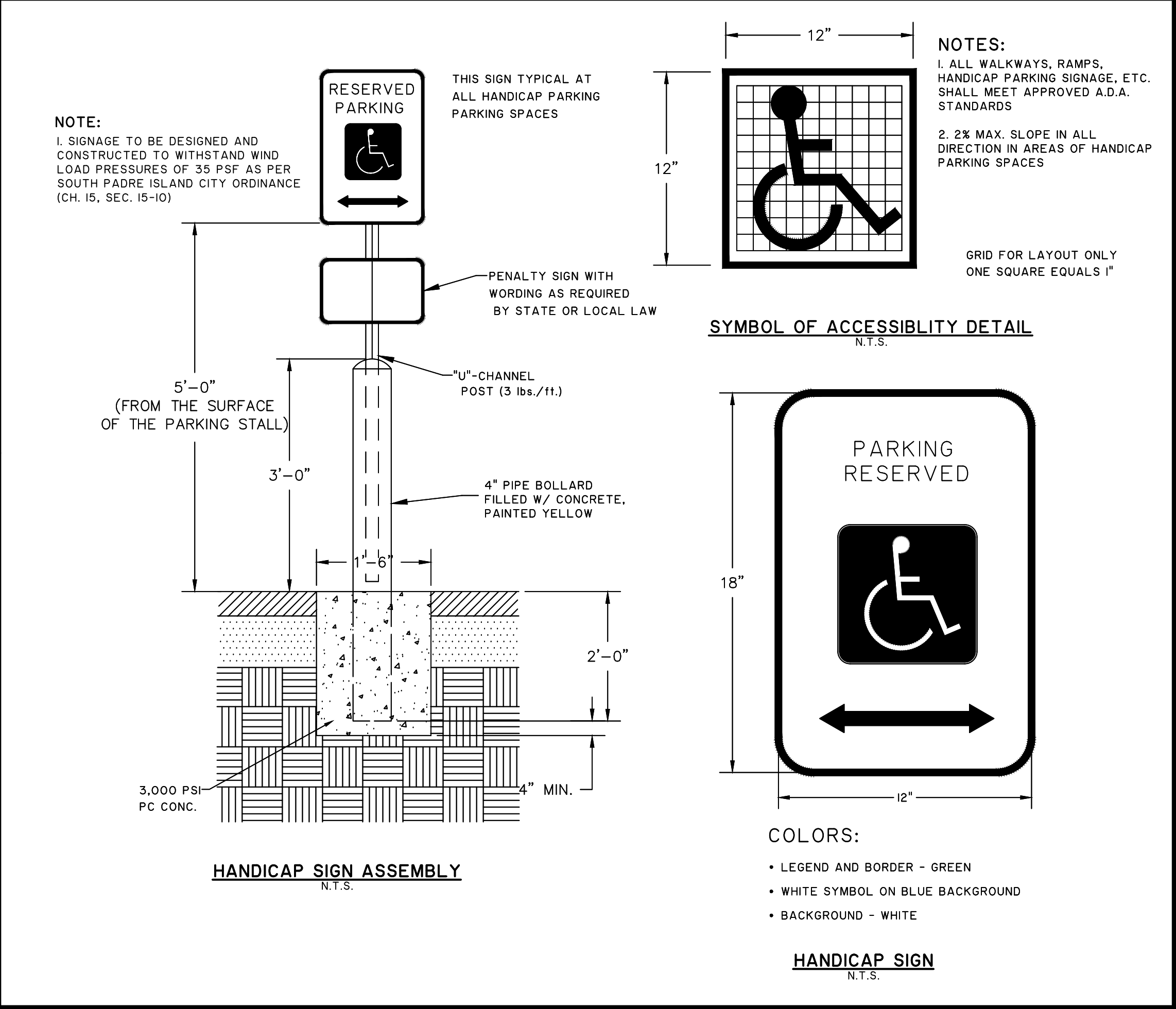
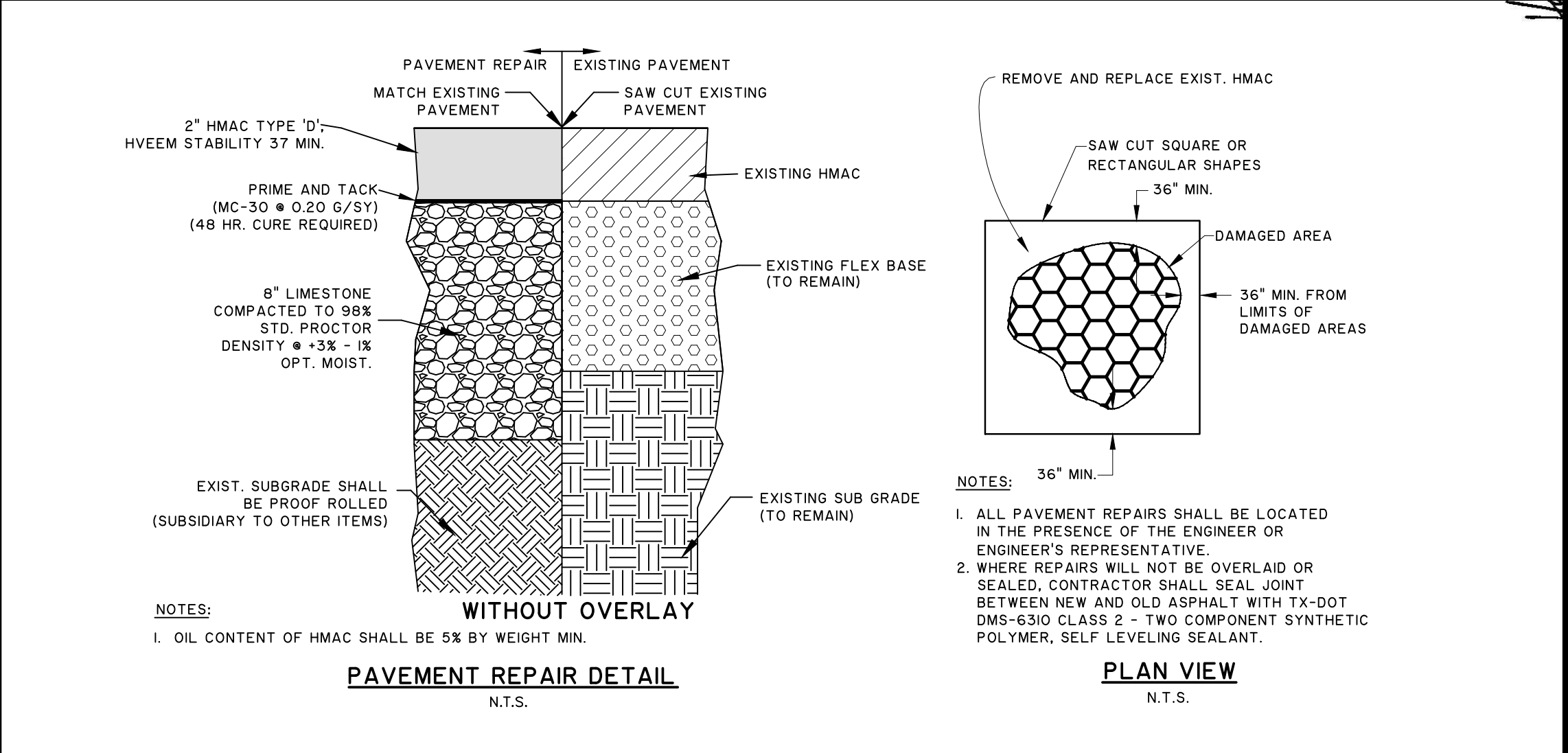
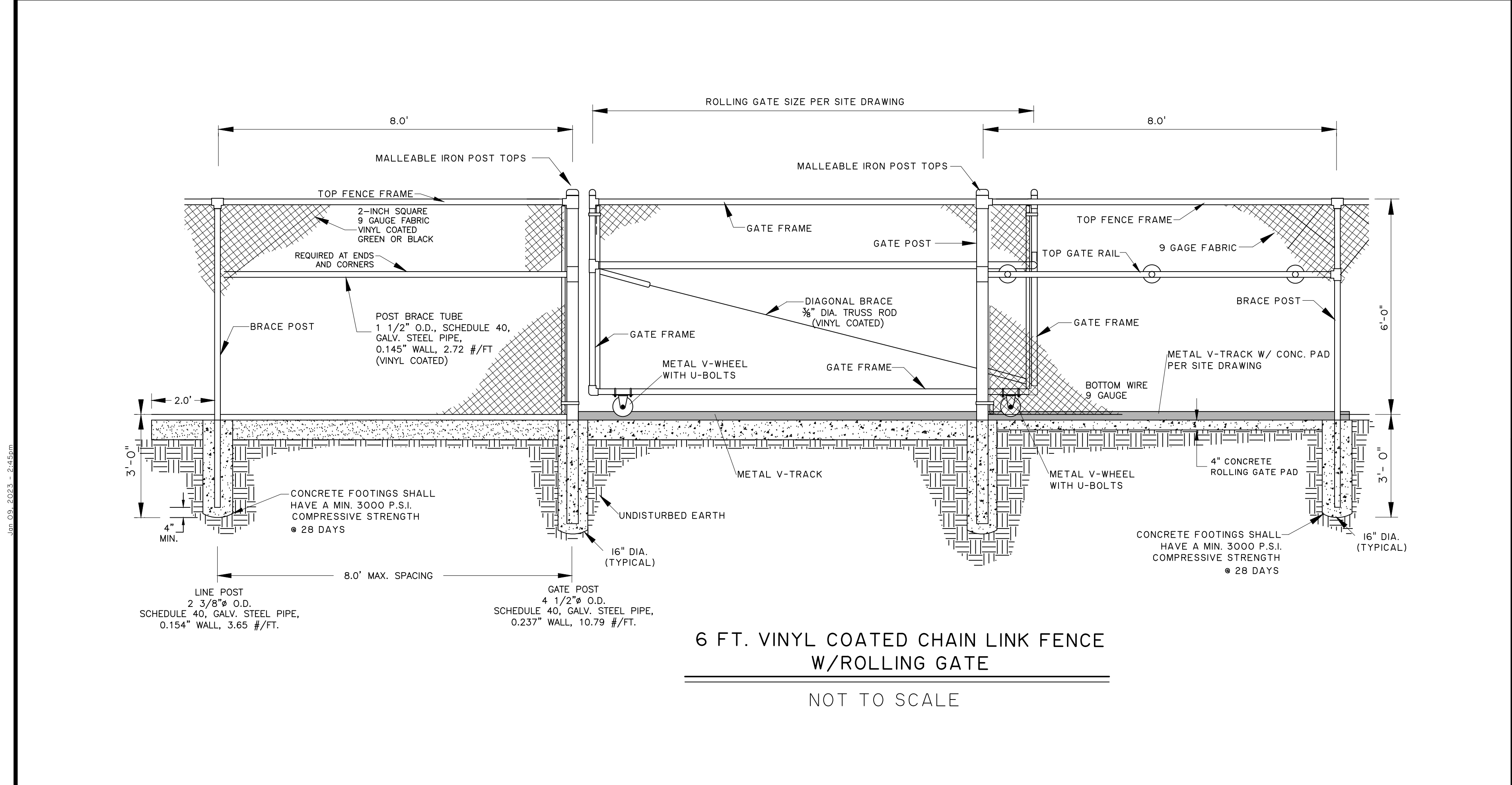
**AMBIOTEC**  
CIVIL ENGINEERING GROUP, INC.

5420 Pinedale Line Road  
Brownsville, Texas 78526

For: (956)546-9399  
(956)546-9353

TBPE FIRM No. F-4126  
TBPLS REG No. 10005300

**VICENTE MENDEZ**  
78558



**PARK PARKING LOT IMPROVEMENTS**

PREPARED FOR: CITY OF SANTA ROSA

**DETAILS**

SCALE: N.T.S. DATE: DEC 2022

DESIGN BY: K. SALDIVAR

DRAWN BY: E. LUNA

CHECKED BY: K. SALDIVAR

APPROVED BY: V. MENDEZ

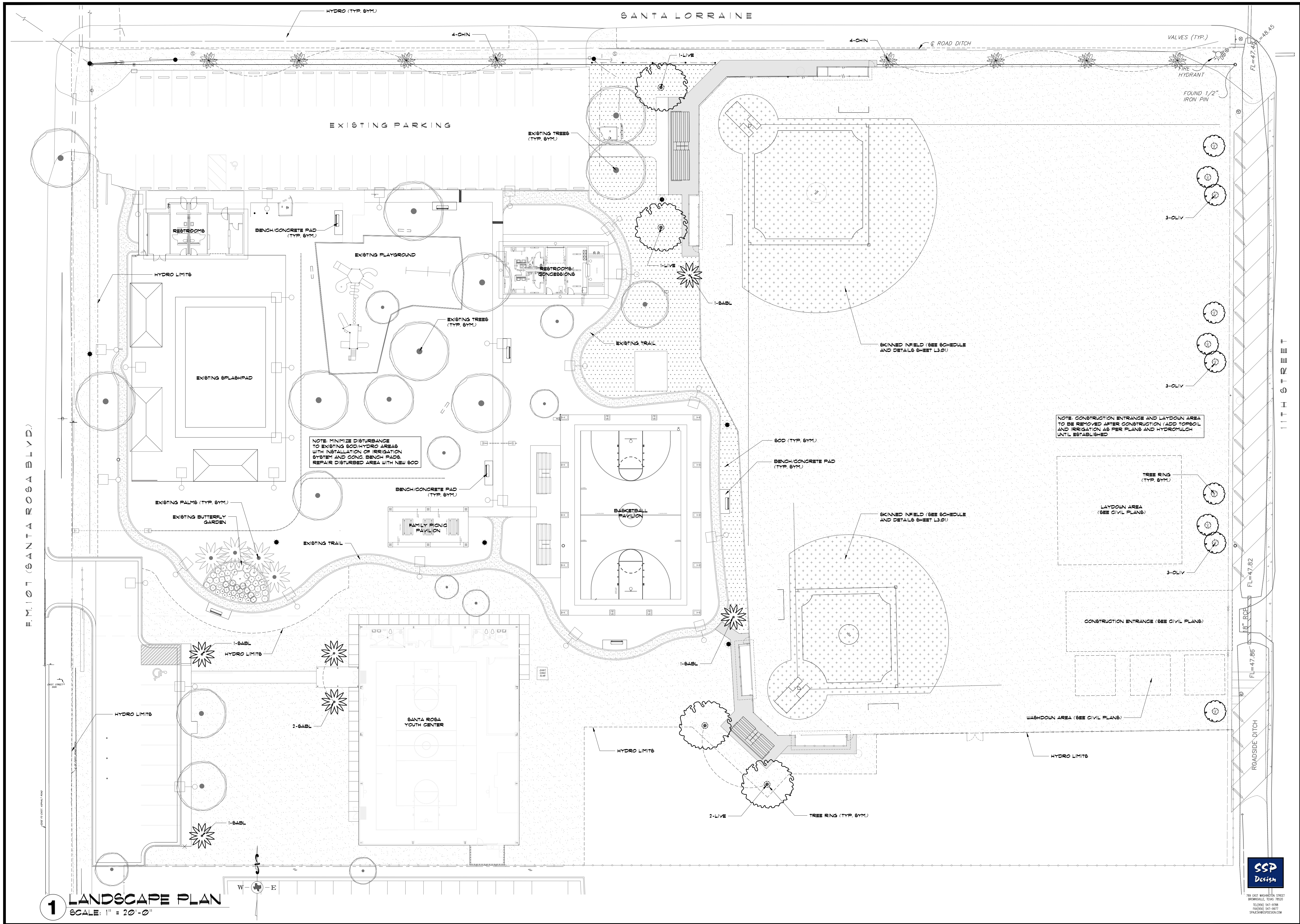
PROJECT NO.: 3722

**SHEET**

**8**

OF 08






**1 LANDSCAPE PLAN**  
SCALE: 1" = 20'-0"


REVISIONS	BY



**GMS ARCHITECTS**  
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(956) 546-0110  
Fax (956) 546-0196



**CITY OF BROWNVILLE, TEXAS**



**SSP Design**  
789 EAST WASHINGTON STREET  
BROWNVILLE, TEXAS 78520  
TEL (361) 547-9188  
FAX (361) 547-9177  
SPARKS@SSPDESIGN.COM

**CAMERON COUNTY PARKS**  
SANTA ROSA PARK IMPROVEMENTS

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Architects-Planners  
Interior Designers

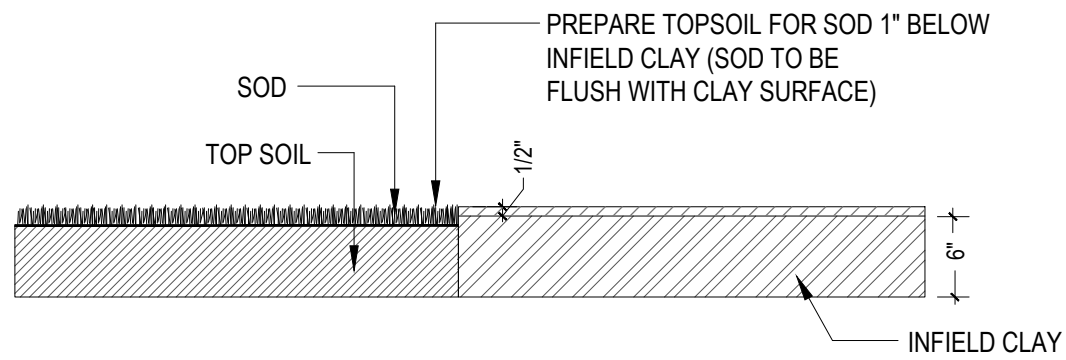
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Drawn By: IO  
Job No. CC PARKS SANTA ROSA  
Sheet: L2.01



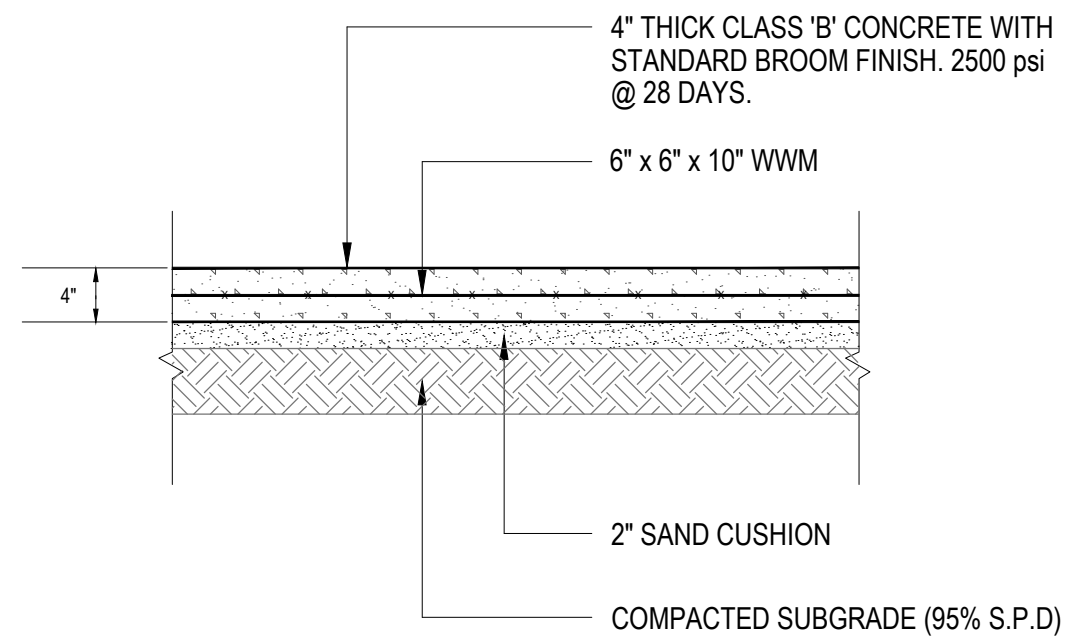
PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	SPACING	QTY
PALMS						
CHIN	LIVISTONA CHINENSIS	CHINESE FAN PALM	B/B	4'-6" HEIGHT	A.S.	8
SABL	SABAL TEXANA	TEXAS SABAL PALM	B/B	6'-8" TRUNK	A.S.	6
TREES						
LIVE	QUERCUS VIRGINIANA	LIVE OAK (GROW BAG)	24" RM	2-3" CAL.	A.S.	4
OLIV	CORDIA BOISSIERI	WILD OLIVE	B/B	2-3" CAL.	A.S.	10
GRASS						
HYDRO	CYNODON DACTYLON	COMMON BERMUDA HYDROMULCH				99,920 SF.
SOD	CYNODON DACTYLON	#1 CERTIFIED '419' HYBRID BERMUDA SOD				920 S.Y.

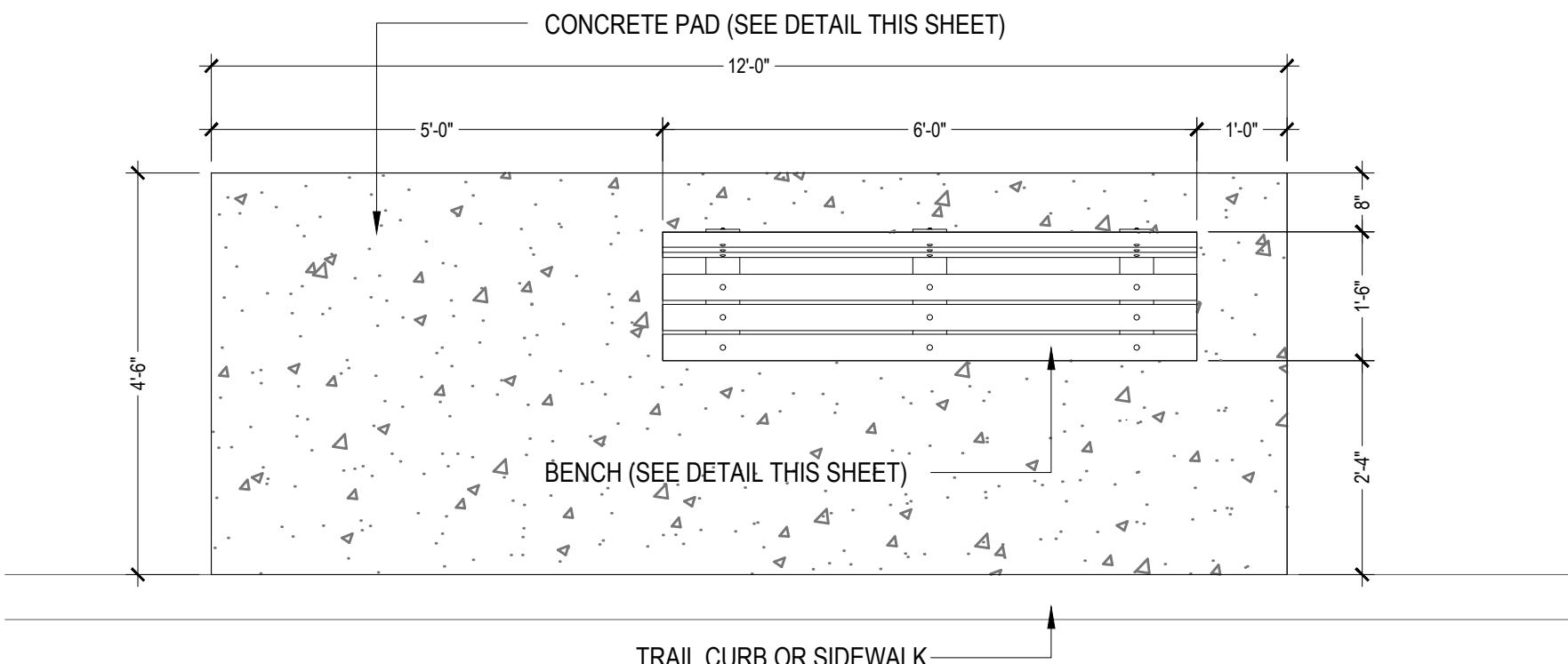
NOTE: GROW BAG TREES SHALL BE SIMMONS OAK FARMS (956) 425-5859 OR APPROVED EQUAL.



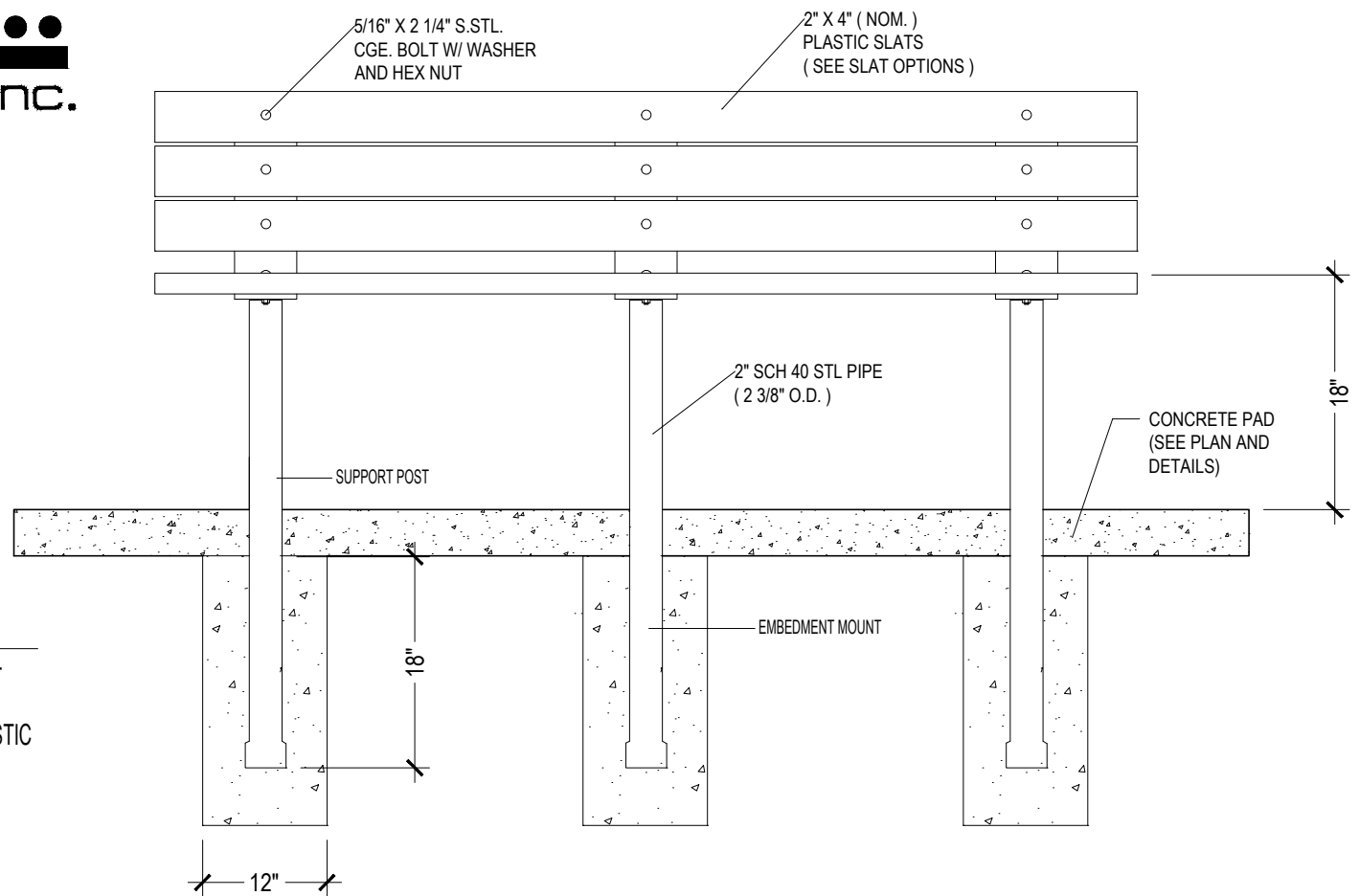
1 FIELD CLAY/SOD TRANSITION DETAIL  
NOT TO SCALE



2 CONCRETE PAD DETAIL  
NOT TO SCALE



3 CONCRETE PAD/BENCH DETAIL  
NOT TO SCALE



4 BENCH DETAIL  
NOT TO SCALE

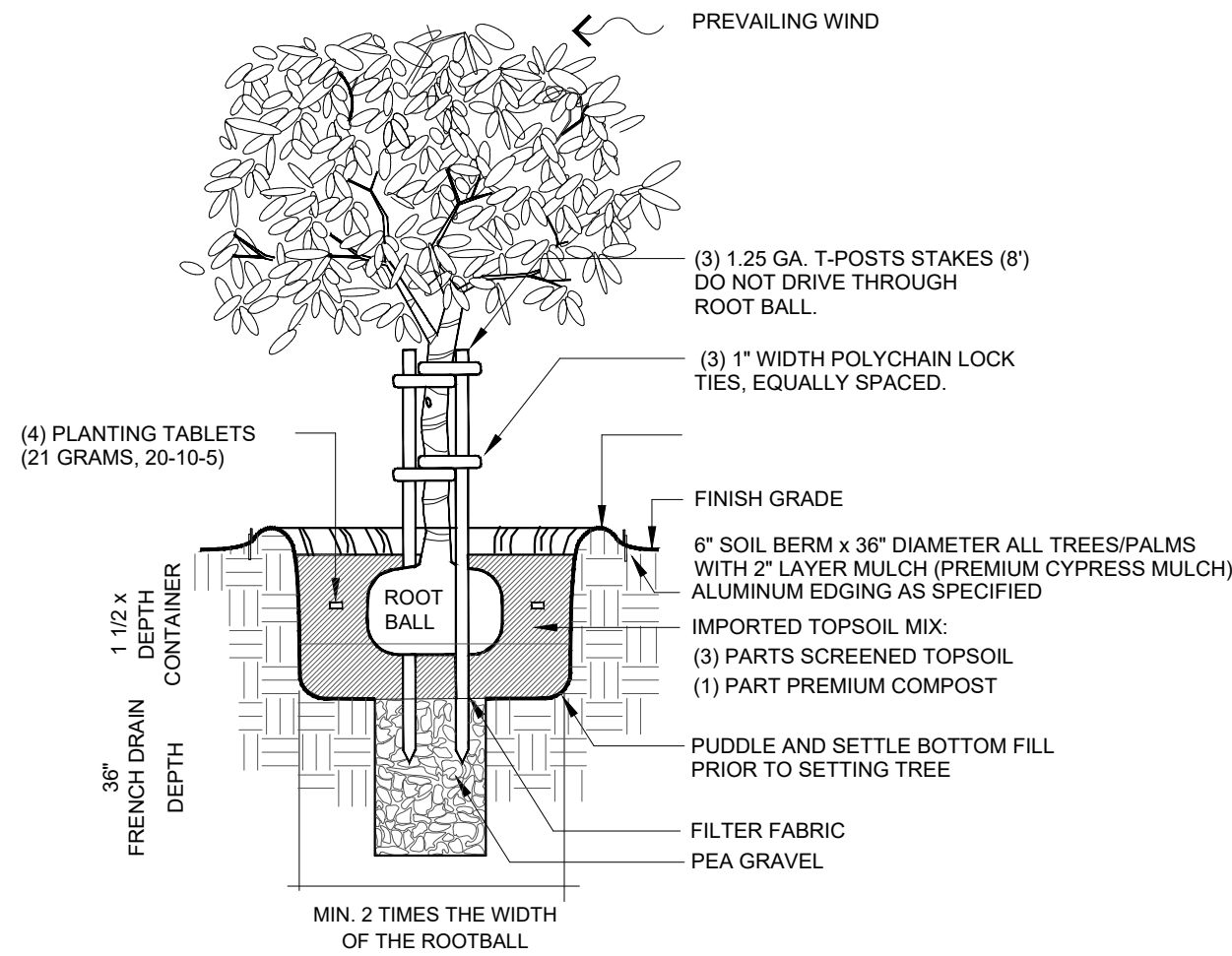
MATERIAL SCHEDULE

DESCRIPTION	NOTES	QUANTITY
ORGANIC TOPSOIL	2 BAG PER TREE/PALM- ORGANIC TOPSOIL	56 BAGS (2 CF.)
PREMIUM COMPOST**	1 BAG PER TREE/PALM- PREMIUM COMPOST	28 BAGS (2 CF.)
MULCH (HARDWOOD)	2 BAGS PER TREE/PALM IN WATERING BASIN- TEXAS NATIVES HARDWOOD	56 BAGS (2 CF.)
FERTILIZER	ALL PLANT MATERIAL PER DETAILS	-
PLANTING TABLETS	PER DETAILS / AS SPECIFIED	--
GUYING / STAKING	ALL TREES/PALMS WITH SAFE-T CAPS ON POSTS PER DETAILS	---
TREE RINGS	36" DIA. 5' COMMERCIAL GRADE ALUMINUM EDGE 'DREAMSCAPE' TREE RINGS PER PLAN/DETAILS	14
CONCRETE PADS	4" THICK CONCRETE PADS FOR PARK BENCHES AS PER PLANS/DETAILS	40 SF.
BENCH	DU MOR 6' LENGTH 138-60PL RECYCLED PLASTIC SLATS (GREY) 5-1 EMBEDMENT MOUNT WITH POWDER COATED POST (BLACK)	1
INFIELD MIX	6" LAYER OF INFIELD MIX - 60% SAND, 20% SILT, 20 % CLAY 1/4" MINUS RED COLOR	324 C.Y.
INFIELD CONDITIONER	1/2" MIXED/TILLED DIAMOND PRO RED INFIELD CONDITIONER	24 TONS
INFIELD GRADING	COMPLETE INFIELD LASER GRADING PER NOTES BELOW	--
IRRIGATION SYSTEM	COMPLETE AUTOMATIC IRRIGATION SYSTEM PER PLANS/DETAILS BY LICENSED CONTRACTOR	--

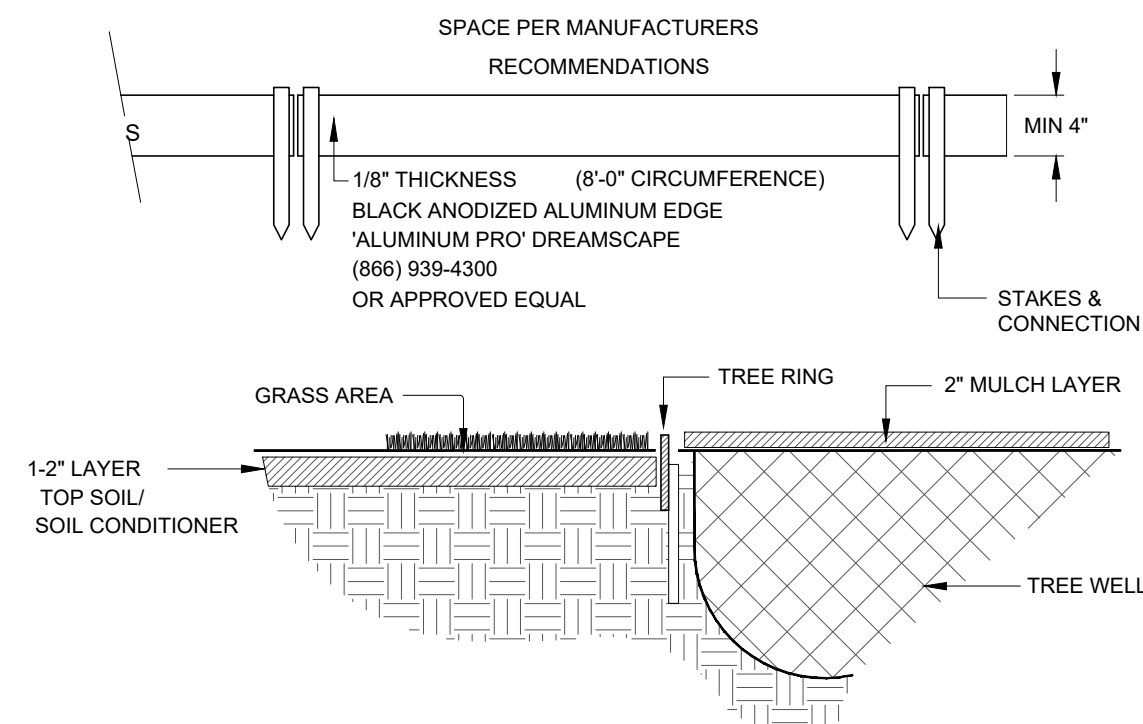
1. CONTRACTORS MUST REVIEW TECHNICAL SPECIFICATIONS FOR ADDITIONAL PRODUCT INFORMATION AND PROJECT REQUIREMENTS.  
\* AVAILABLE AT KINNEY BONDED WAREHOUSE (956) 464-449  
\*\* CUTTING EDGE PREMIUM QUALITY COMPOST - HOME DEPOT OR APPROVED EQUAL

SPORTS FIELD NOTES

1. APPLY HERBICIDE/ROUNDUP TO ENTIRE FIELD AREA UNTIL ALL VEGETATED MATTER IS ERADICATED
2. CLEAR AND GRUB (REMOVE ALL DEBRIS) FROM FIELD AREA
3. RIP/FILL SOIL WITH AN AGRICULTURAL CULTIVATOR TO A DEPTH OF 6\"/>
4. ROUGH GRADE INFIELDS TO PREPARE FOR 6\"/>
5. APPLY INFIELD MIX AND FINE GRADE TO FINISHED ELEVATIONS ON CIVIL PLANS
6. CONTRACTOR TO GRADE FIELD WITH SPECIFIED CROWN/SLOPES UTILIZING FULLY AUTOMATED COMPUTERIZED DUAL GPS SYSTEM WITH LASER AUGMENTATION TO ACHIEVE GRADES WITHIN 1/4\"/>
7. INSTALL IRRIGATION PER PLANS/SPECS. THOROUGHLY WATER IN WITH MULTIPLE WATERINGS
8. FIELD DRAINAGE WILL BE TESTED AND REVIEWED BY SSP PRIOR TO SOD OR HYDROMULCH.
9. INSTALL SOD OR HYDROMULCH AS PER PLANS AND SPECIFICATIONS
10. ROLL FIELDS WITH 2 TON MECHANICAL ROLLER/VIBRATOR. TOP DRESS WITH CLEAN SAND ALL LOW SPOTS OR DIVOTS
11. MONITOR WATERING FOR CONTINUOUS MOISTURE ON HYDROMULCH UNTIL FULL GERMINATION.
12. COMMENCE MOWING USING A REEL TYPE MOWER ONLY. MOWING SHALL BE AT LEAST ONCE PER WEEK AND MUST BE REVIEWED, CHECKED AND APPROVED BY SSP ON OR ABOUT 45 DAYS AFTER INSTALLATION/GERMINATION. FERTILIZE WITH HJ 25-0-0 WITH WOLTRAX OR APPROVED EQUAL AT MANUFACTURERS RATES



5 TREE PLANTING DETAIL  
NOT TO SCALE

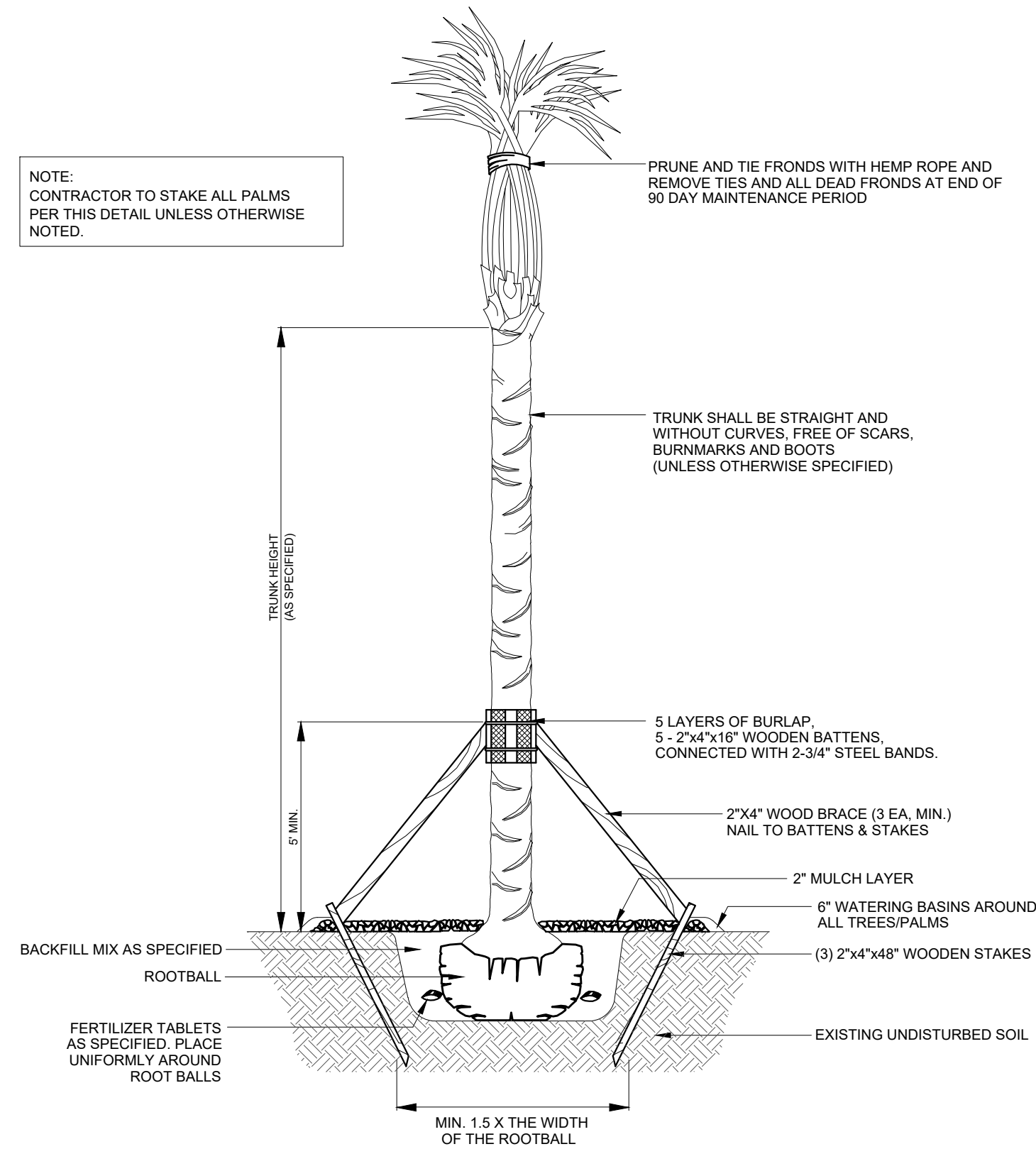


6 TREE RING DETAIL  
NOT TO SCALE

NOTE:  
ALL ALUMINUM EDGING TO BE ANGLED WITH 6\"/>

CONSTRUCTION NOTES

1. WORK UNDER THIS CONTRACT INCLUDES SITE REVIEW AND COORDINATION WITH EXISTING CONDITIONS, SITE CLEANUP, EXCAVATION, BED PREP, TILLING, PLANTING, STAKING, EDGING, IRRIGATION, TREE RINGS, INFIELD CLAY, SITE FURNITURE, MAINTENANCE, AND GUARANTEE.
2. LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND DIMENSIONS PRIOR TO BIDDING. QUANTITIES SHOWN IN SCHEDULE ARE FOR CONVENIENCE ONLY.
3. NOTIFY SSP DESIGN OF ANY DISCREPANCIES IN DRAWINGS/DETAILS OR INSUFFICIENT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
4. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES. SPOTTING OF ALL UTILITIES IS REQUIRED.
5. NOTIFY AND MEET WITH SSP DESIGN PRIOR TO ANY CONSTRUCTION FOR VERIFICATION/INTERPRETATION OF PLANS.
6. LANDSCAPE CONTRACTOR SHALL STAKE OUT ALL BEDS, TREES, PALM LOCATIONS PRIOR TO INSTALLATION FOR APPROVAL BY SSP DESIGN.
7. CONTRACTOR TO COORDINATE WITH SSP DESIGN TO ENSURE PROPER PLACEMENT OF PLANT MATERIAL AND IRRIGATION EQUIPMENT.
8. CONTRACTOR TO INSTALL EXTRUDED CONCRETE EDGE AND TREE RINGS AS SHOWN ON PLANS.
9. NOTIFY SSP DESIGN/OWNER PRIOR TO PLANTING OPERATIONS FOR APPROVAL OF ALL PLANT MATERIAL ON SITE. ANY PLANT MATERIAL NOT APPROVED BY SSP DESIGN/OWNER WILL BE SUBJECT TO REJECTION.
10. IRRIGATION CONTRACTOR SHALL SUPPLY AND INSTALL COMPLETE AUTOMATIC IRRIGATION SYSTEM INCLUDING WATER METER, BACKFLOW DEVICE, CONTROLLER, MAINLINE, SLEEVES, DRIP TO COVER ALL LANDSCAPE AREAS PER PLANS/DETAILS. IRRIGATION SYSTEM SHALL BE INSTALLED BY A TEXAS LICENSED IRRIGATOR ONLY.
11. CONTRACTOR SHALL REMOVE ALL EXISTING GRASS/WEEDS IN BEDS BY HERBICIDING PRIOR TO BED PREP AND SOIL REPLACEMENT.
12. CONTRACTOR SHALL PRUNE ALL EXISTING PALMS/TREES BY A CERTIFIED ARBORIST AS DIRECTED BY SSP DESIGN.
13. CONTRACTOR SHALL REMOVE ALL EXISTING GRASS AND WEEDS BY HERBICIDING, DISKING, FLOATING AND LIGHT GRADING OF ENTIRE PROJECT AREA PRIOR TO HYDROMULCHING/SODDING.
14. CONTRACTOR SHALL REMOVE 12\"/>
15. LANDSCAPE CONTRACTOR SHALL CONSTRUCT 6\"/>
16. LANDSCAPE CONTRACTOR SHALL LOOSEN / GRADE ALL LAWN AREAS PRIOR TO HYDRO-MULCHING/SODDING TO ENSURE PROPER DRAINAGE AND UNIFORM SURFACE.
17. LANDSCAPE CONTRACTOR SHALL ESTABLISH AND MAINTAIN ALL PLANT MATERIAL FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION AND SHALL GUARANTEE ALL TREES/PALMS FOR A PERIOD OF ONE YEAR.
18. IRRIGATION CONTRACTOR SHALL GUARANTEE ALL SYSTEM COMPONENTS FOR A PERIOD OF ONE YEAR.
19. SEE SPECIFICATION FOR FURTHER INSTRUCTIONS/REQUIREMENTS.



7 PALM PLANTING DETAIL  
NOT TO SCALE

REVISIONS	BY



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SANTA ROSA PARK IMPROVEMENTS



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Interior Designers  
Date: February 1, 2023  
Scale: As Noted  
Project Architect: Roan G. Gomez, AIA  
Drawn By: IO  
Job No. CC PARKS SANTA ROSA  
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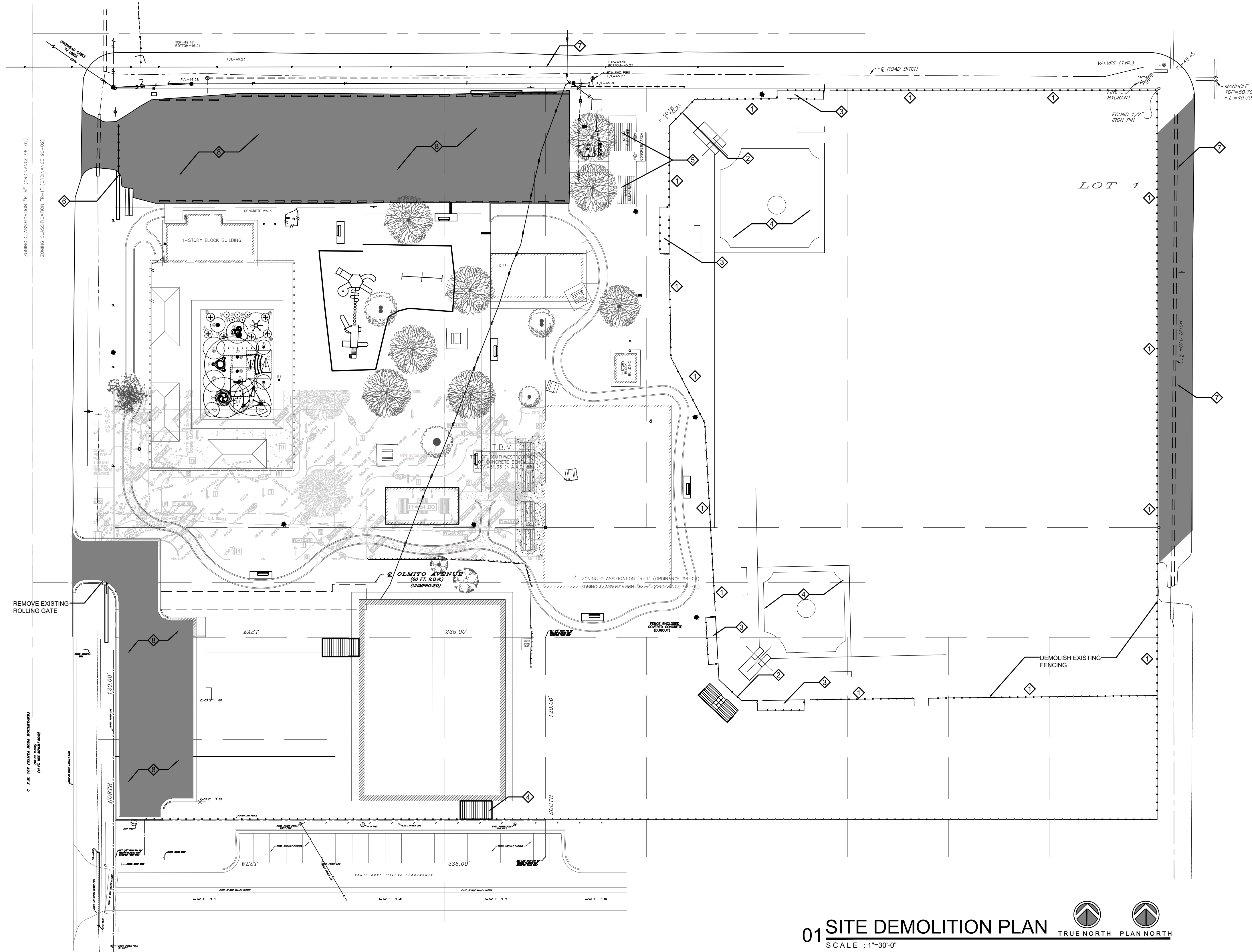


789 EAST WASHINGTON STREET  
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FAX (956) 547-9977  
SPALES@SSPDESIGN.COM

L3.01



Feb 01, 2023 - 11:32am\\Users\\Vig\\AppData\\Local\\Temp\\McMullen\_27226\\V-SITE\_05.dwg



- KEYED DEMOLITION NOTES:**
- 1 DEMOLISH EXISTING CHAIN LINK FENCING.
  - 2 DEMOLISH EXISTING CHAIN LINK BACKSTOP.
  - 3 DEMOLISH EXISTING COVERED DUGOUTS.
  - 4 CLEAR VEGETATION AND STRIP TOPSOIL.
  - 5 DEMOLISH EXISTING CONCRETE PAD AND BLEACHERS.
  - 6 DEMOLISH EXISTING ACCESS GATE.
  - 7 CLEAR VEGETATION FOR ADDITIONAL PAVING IMPROVEMENTS.
  - 8 PREPARE ASPHALT PARKING AREAS FOR IMPROVEMENTS.
  - 9 XX

## 01 SITE DEMOLITION PLAN

SCALE : 1"=30'-0"

### DEMOLITION NOTES:

- GENERAL CONTRACTOR TO TAKE CARE NOT TO DAMAGE EXISTING FOUNDATION, STRUCTURAL STEEL BEAMS / COLUMNS, SURROUNDING BUILDINGS AND VARIOUS SURFACES OUTSIDE OF DEMOLITION AREA. SHOULD ANY DAMAGE OCCUR OUTSIDE OF DEMOLITION AREA, THE GENERAL CONTRACTOR WILL BE RESPONSIBLE TO REPAIR OR REPLACE DAMAGED ITEMS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND DISPOSING DEBRIS & MATERIAL AWAY FROM SITE ACCORDING TO LOCAL & STATE REGULATIONS.
- PATCH TO MATCH ALL FINISHES DISTURBED BY THE DEMOLITION AND IMPROVEMENTS.
- REFER TO CIVIL AND MEP DOCUMENTS FOR ADDITIONAL WORK TO BE PERFORMED IN THESE AREAS.
- PRE BID - GENERAL CONTRACTOR IS TO BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THIS PROJECT SITE AND INCLUDE IN BID ALL NECESSARY DEMOLITION REQUIRED FOR IMPROVEMENTS, WHETHER NOTED OR NOT.
- PRE BID - GENERAL CONTRACTOR IS TO BE RESPONSIBLE FOR NOTIFYING ARCHITECTS OFFICE WITH AN RFI IN THE CASE DISCREPANCIES WITH PLANS AND EXISTING CONDITIONS ARE PRESENT.
- IT IS RECOMMENDED THAT PHOTOS OF BOTH INTERIOR AND EXTERIOR OF THE PROJECT BE TAKEN TO SHOW EXISTING CONDITIONS.
- ANY MATERIAL AND/OR EQUIPMENT SCHEDULED TO BE REMOVED THAT CAN BE SALVAGED MUST BE TURNED OVER TO THE OWNER FOR THEIR USE & DISPOSITION. IF SO DIRECTED BY THE OWNER, GENERAL CONTRACTOR SHALL PROPERLY DISPOSE OF ANY TRASH OR DEBRIS FOLLOWING LOCAL & STATE REGULATIONS.
- COORDINATE WITH ARCHITECT AND/OR ENGINEERS PRIOR TO ANY DEMOLITION ITEMS THAT ARE UNCLEAR.

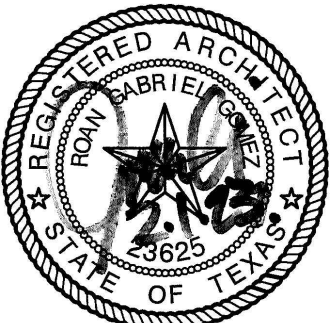
REVISIONS	BY



GMS ARCHITECTS

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Brownsville,  
Texas 78526  
(956) 546-0110  
Fax (956) 546-0196

## CAMERON COUNTY PARKS SANTA ROSA PARK IMPROVEMENTS



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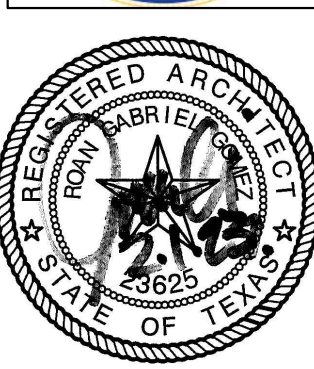
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Project Architect: Roan G. Gomez, AIA  
Drawn By: RN  
Job No. SANTA ROSA - PHASE 2  
Sheet:

D1.01





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Scale:

Roan G. Gomez, AIA

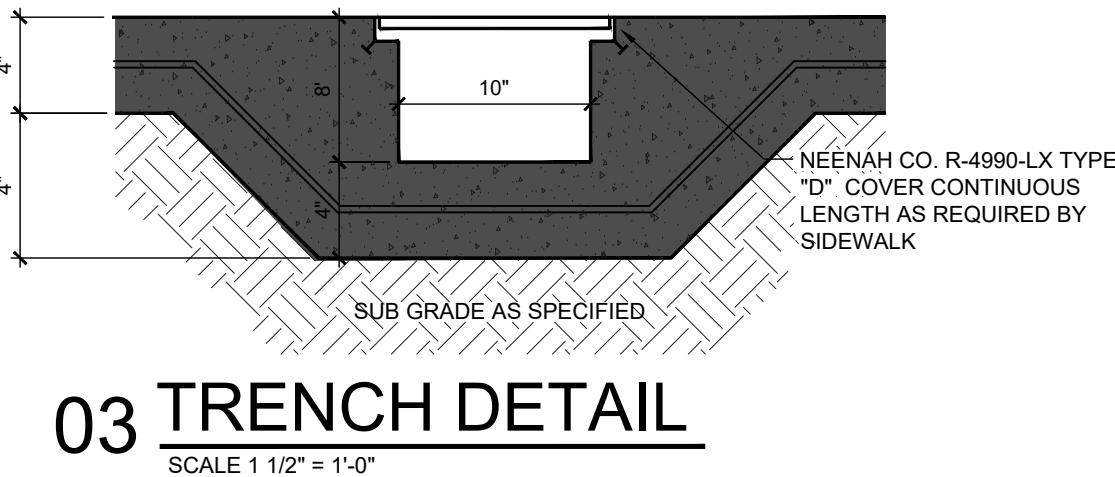
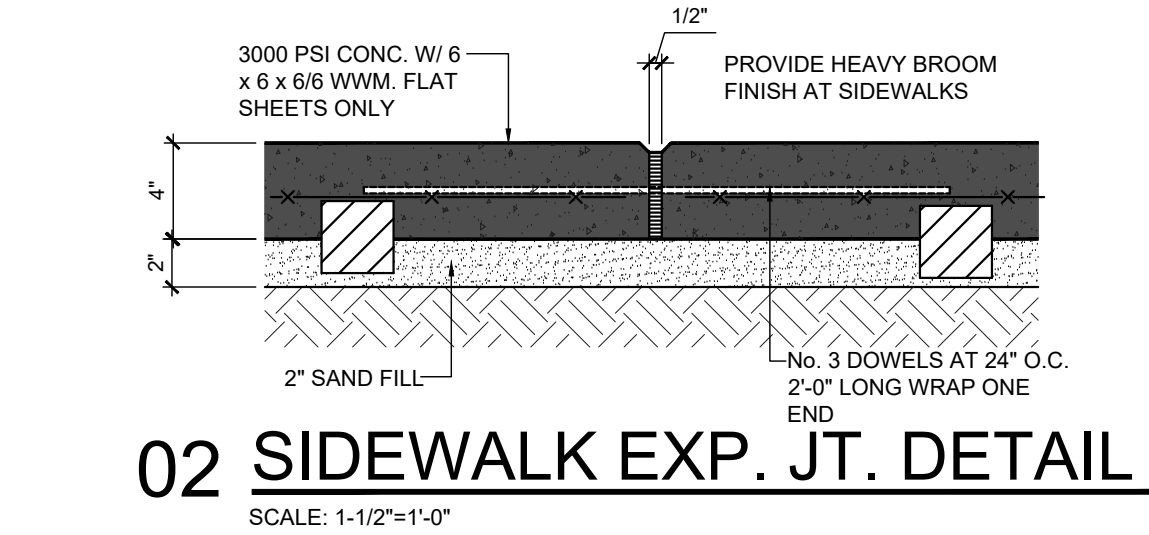
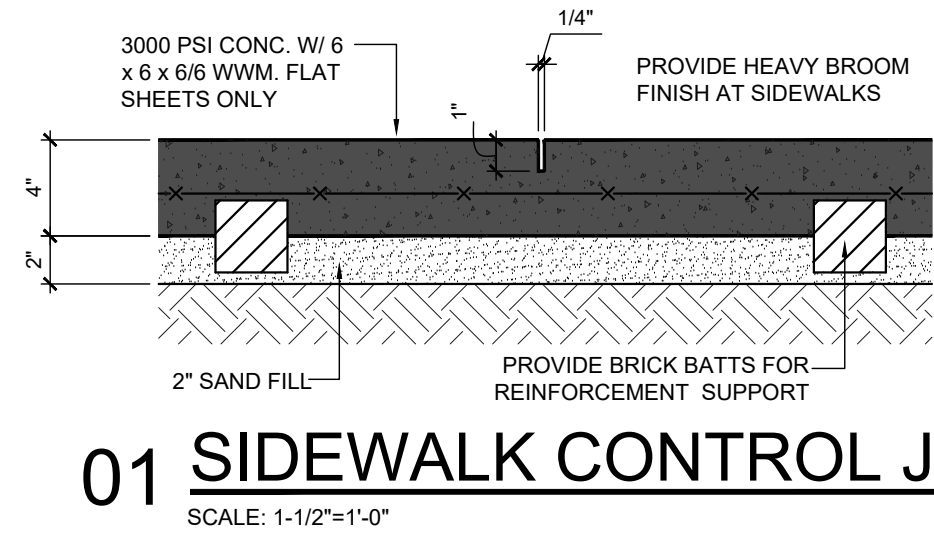
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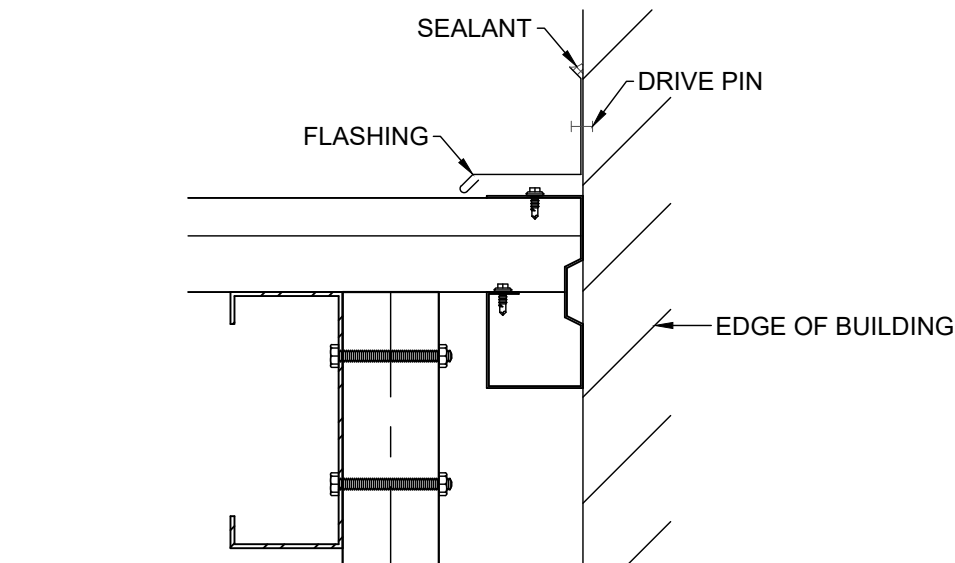
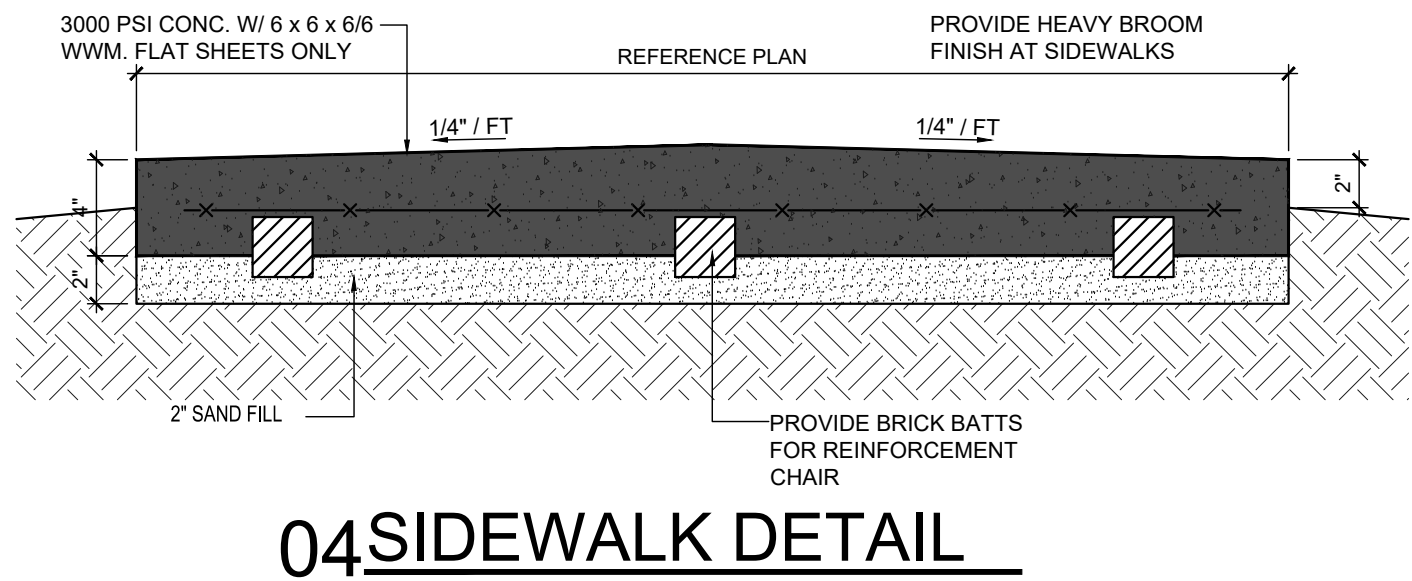
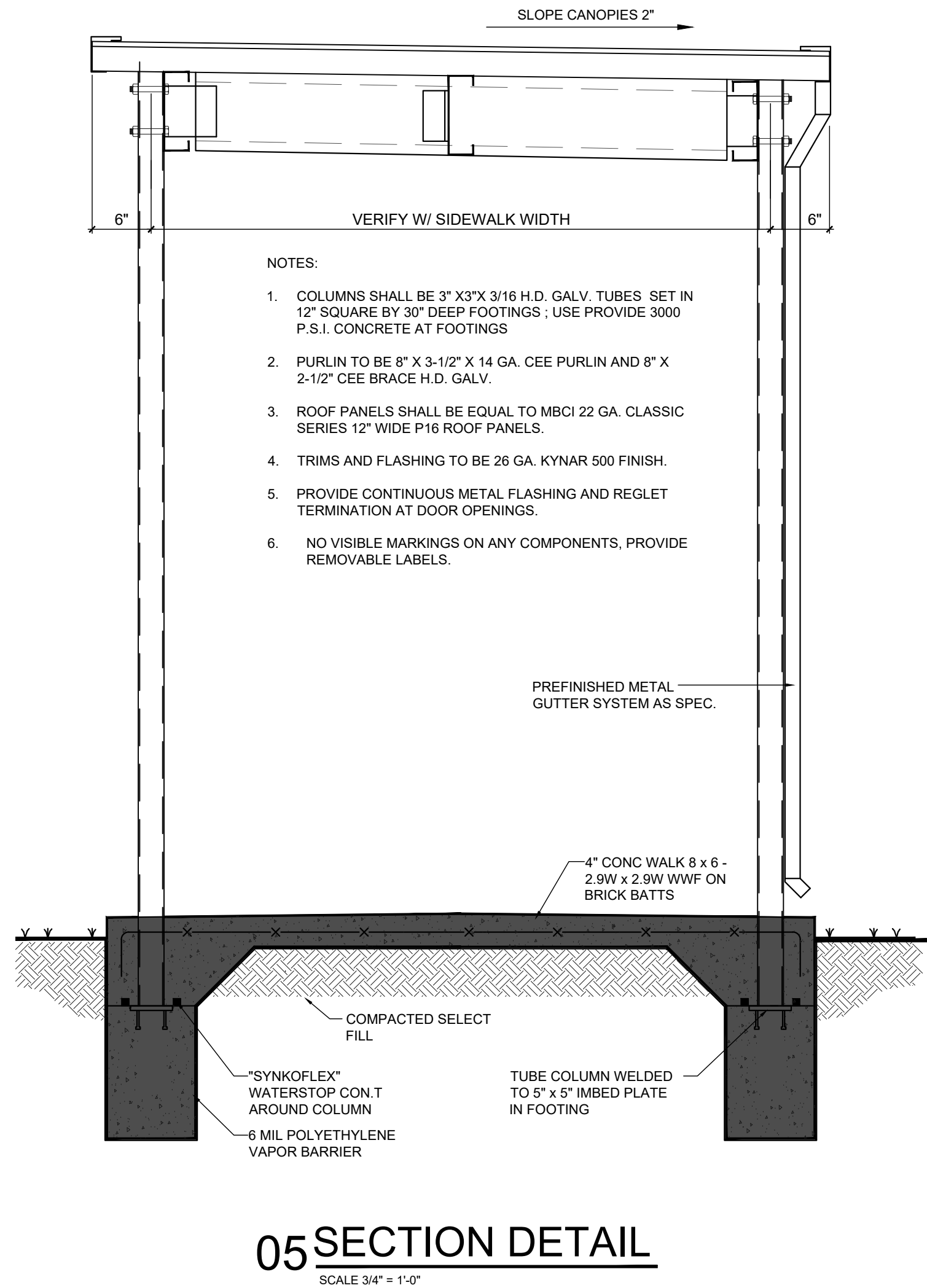
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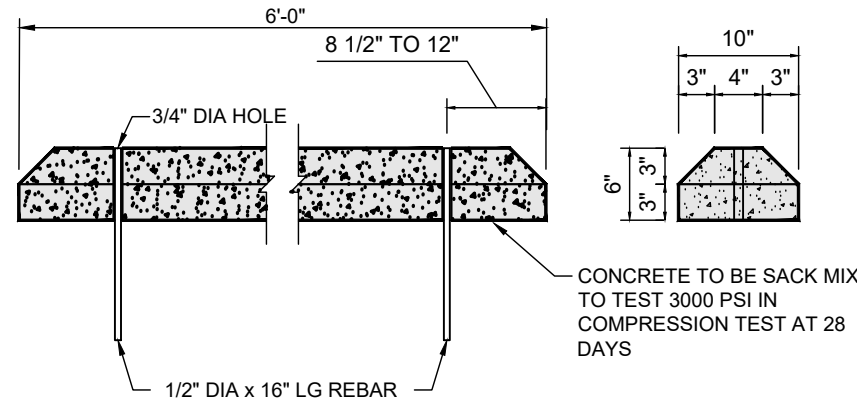




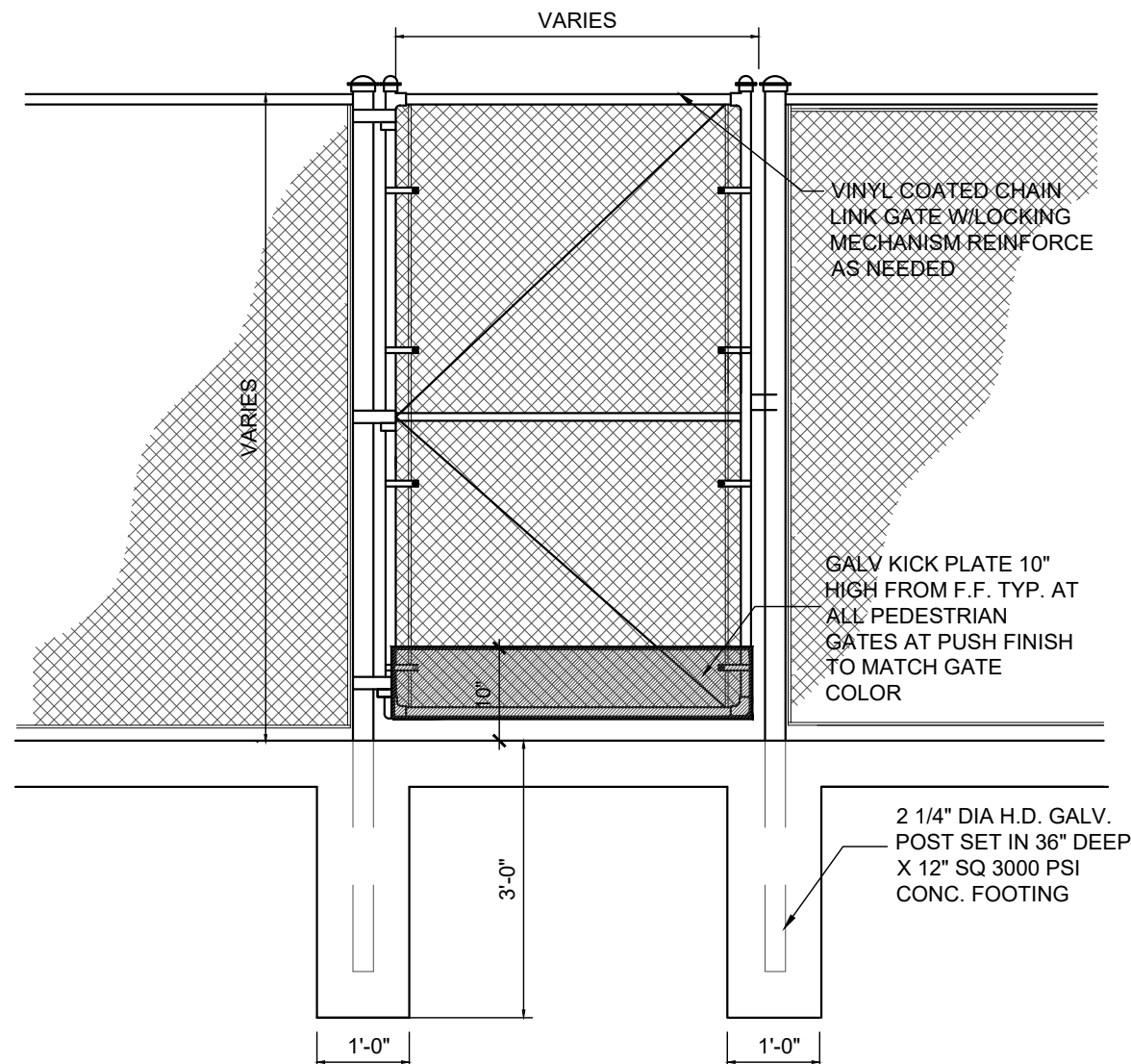
- 1.) CONTRACTOR TO VERIFY ALL BUILDING ROOF DRAINS & DOWN SPOUTS THAT WILL SPILL ONTO A SIDEWALK AND PROVIDE A TRENCH GUTTER AT THAT LOCATION TO ALLOW FOR RAIN WATER TO DRAIN THRU GUTTER AND NOT OVER SIDEWALK ( WHICH COULD CAUSE A TRIPPING HAZARD ). CONTRACTOR TO VERIFY TRENCH GUTTERS NEEDED PRIOR TO ANY POURING OF SIDEWALKS AROUND PERIMETER OF BUILDING. TYPICAL AT ALL BUILDINGS.
- 2.) REFER TO CIVIL DRAWINGS FOR ALL OTHER LOCATIONS OF TRENCH GUTTERS



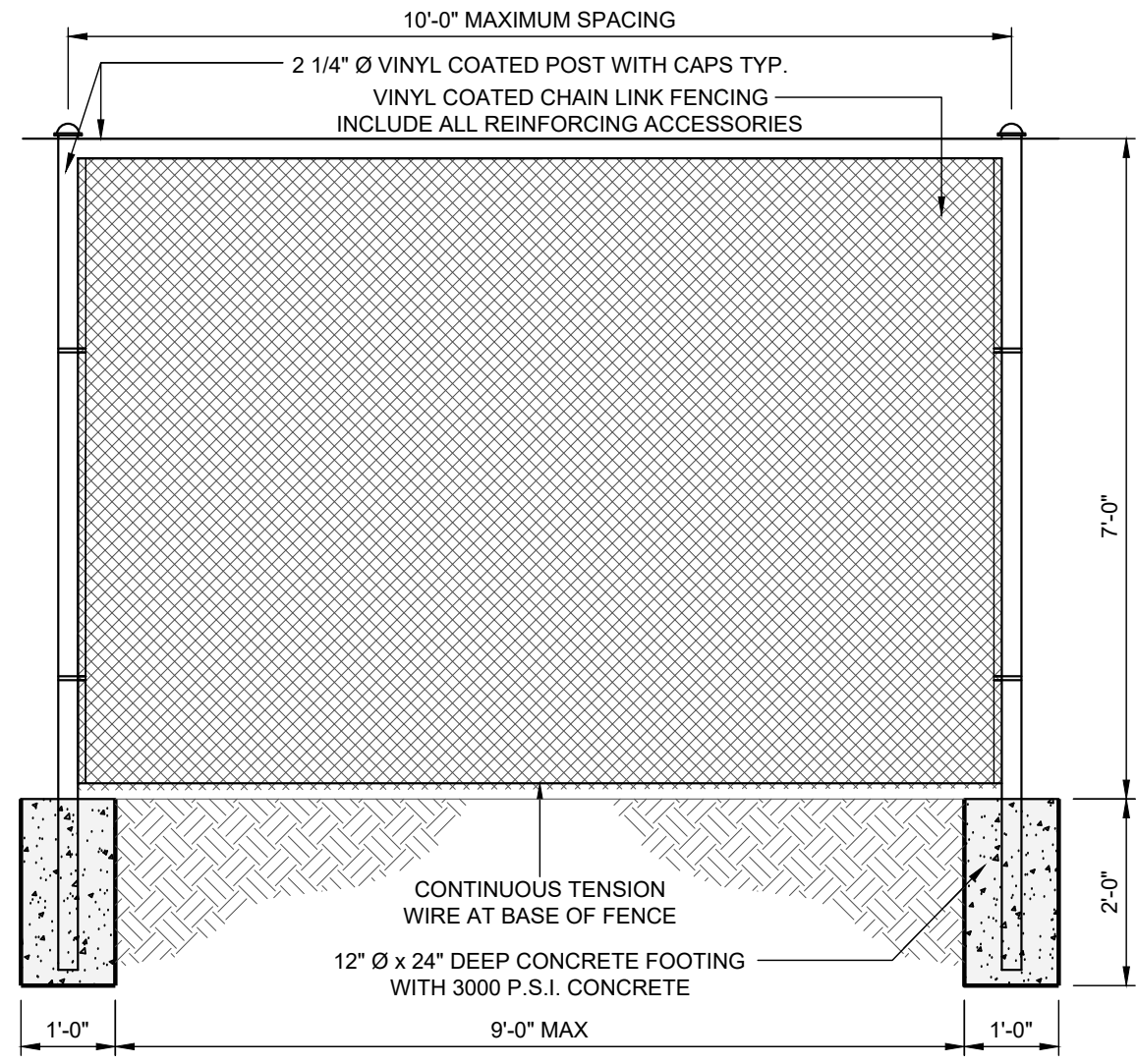
**06** CANOPY TRANSITION @ ENTRY DOOR  
SCALE : NTS



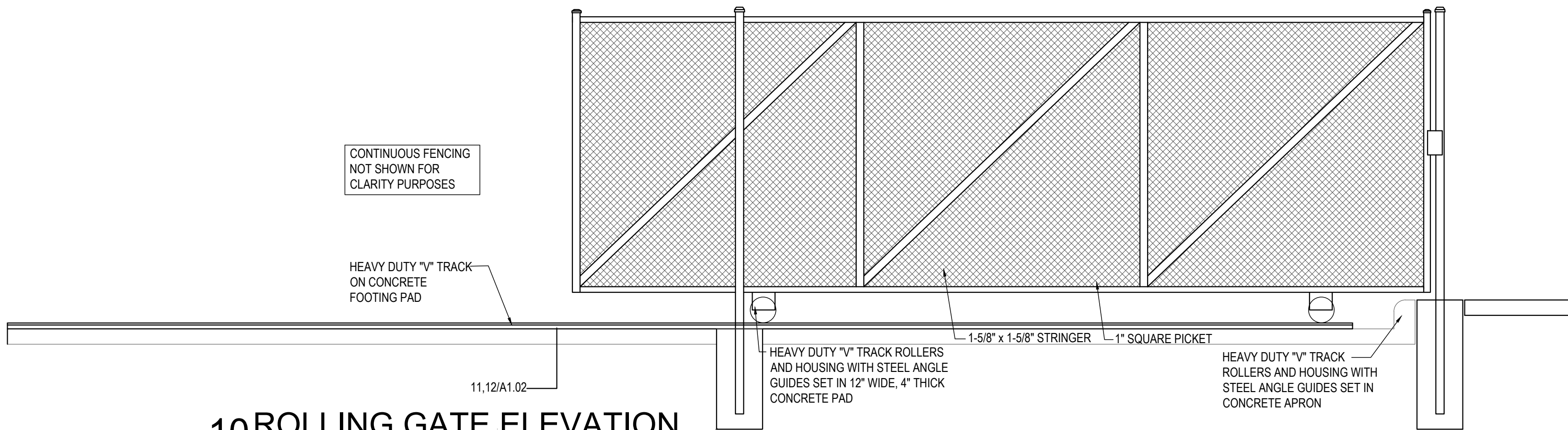
**07**CONCRETE TIRE STOP



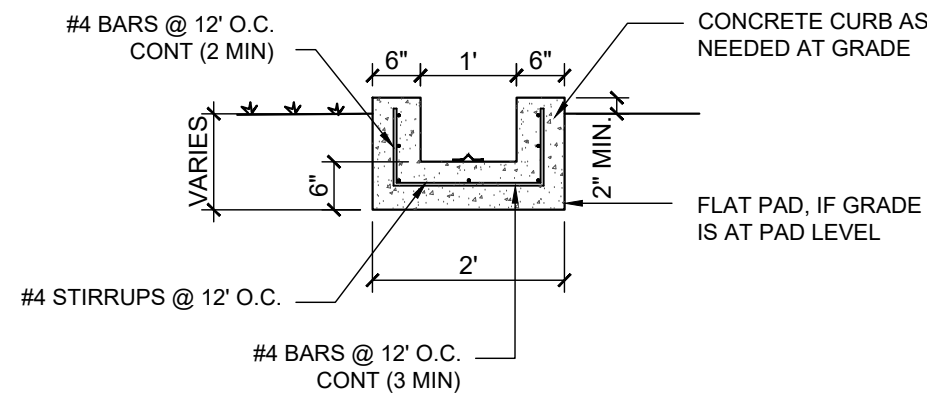
**08** SWINGING GATE ELEVATION  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.  
SCALE: 1/2"=1'-0"



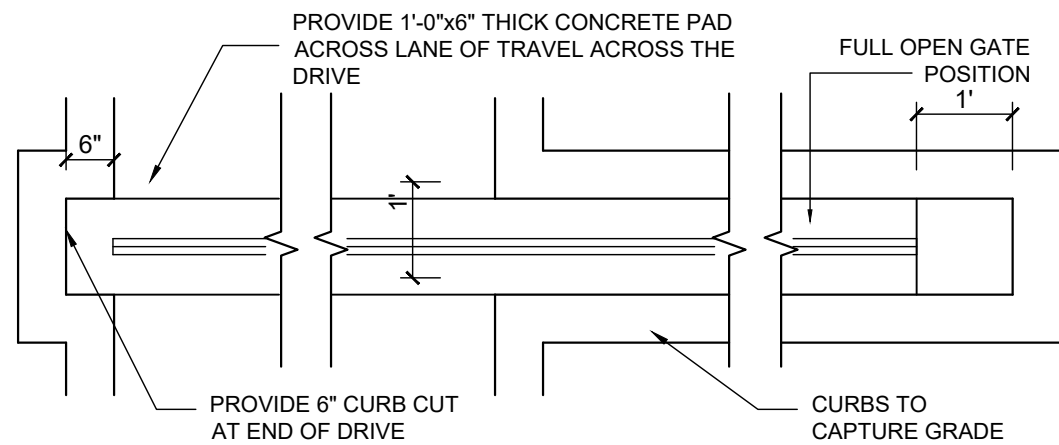
**09**FENCE ELEVATION



**10** ROLLING GATE ELEVATION  
SCALE 1/2" = 1'-0"



**11** ROLLING GATE SECTION  
SCALE: 1/2"=1'-0"



**12** ROLLING GATE PAD  
SCALE: 1/2"=1'-0"

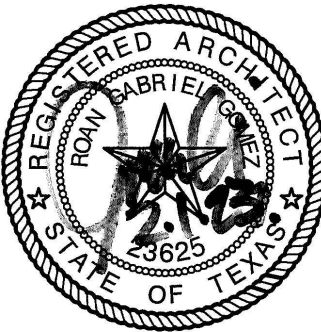
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**SANTA ROSA PARK IMPROVEMENTS**



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Drawn By: RN  
Job No. SANTA ROSA - PHASE 2  
Sheet:

**A1.02**





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AS SHOWN ON PLAN

10' MAX

2" DIA. PIPE

PLAN VIEW

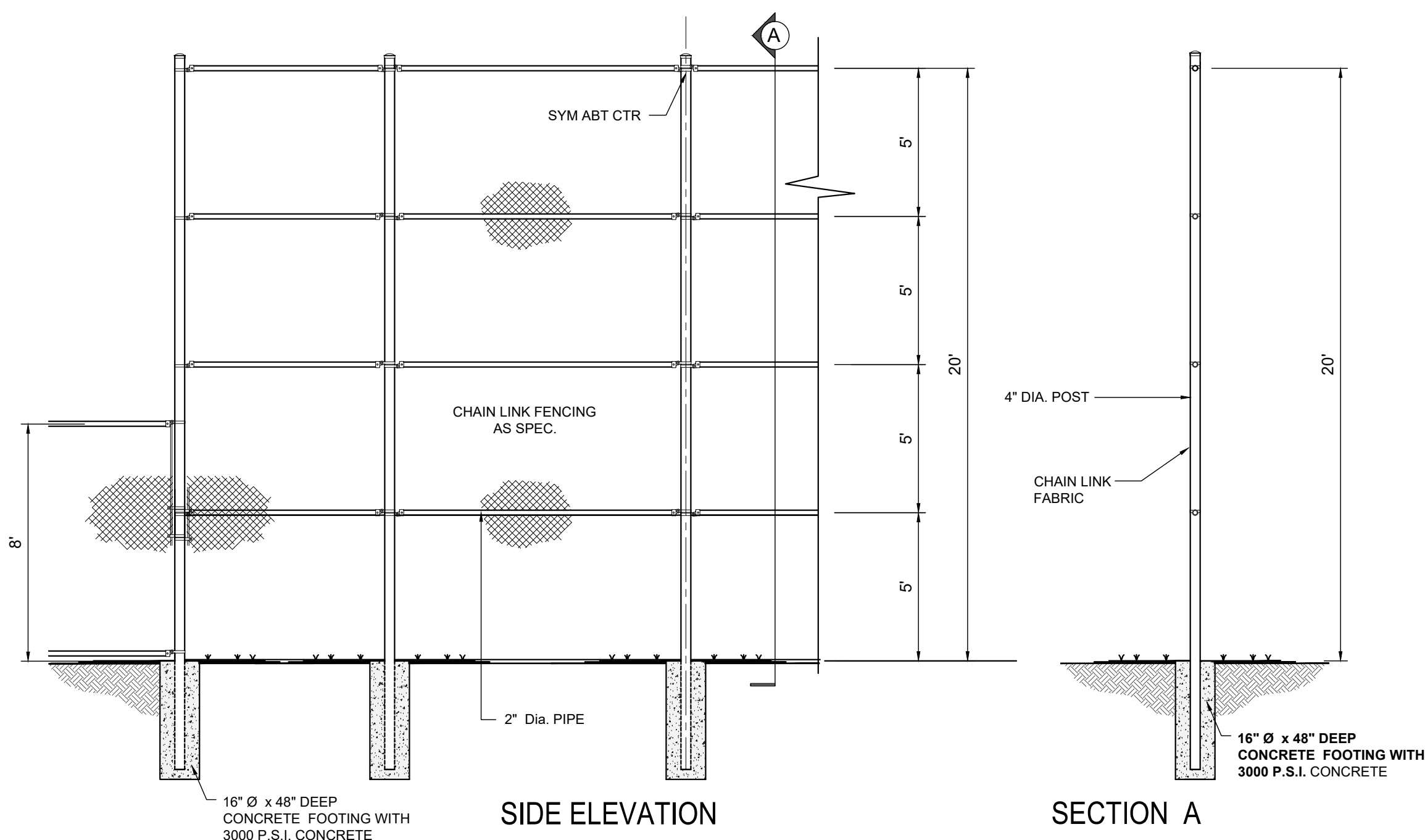
20'

45°

20'

The diagram shows a plan view of a pipe system. A central horizontal section is labeled '2" DIA. PIPE' and has a dimension of '10' MAX'. This section is connected to two diagonal sections. The left diagonal section has a length of '20'' and is at a '45°' angle. The right diagonal section also has a length of '20'' and is at a '45°' angle. The entire assembly is labeled 'AS SHOWN ON PLAN' and 'PLAN VIEW'.

### PLAN VIEW



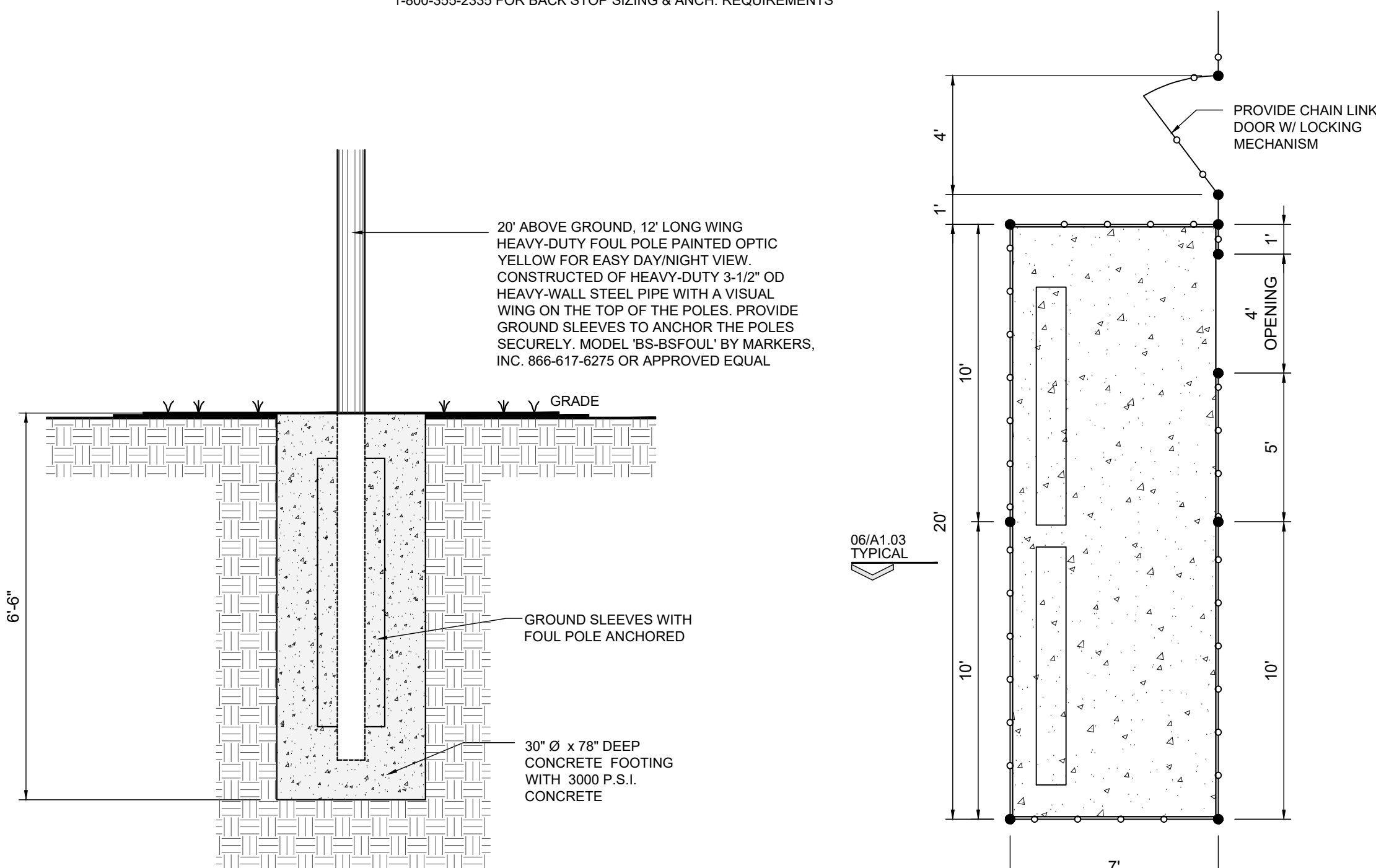
### SIDE ELEVATION

SECTION A

## 04 BACKSTOP FENCE DETAIL

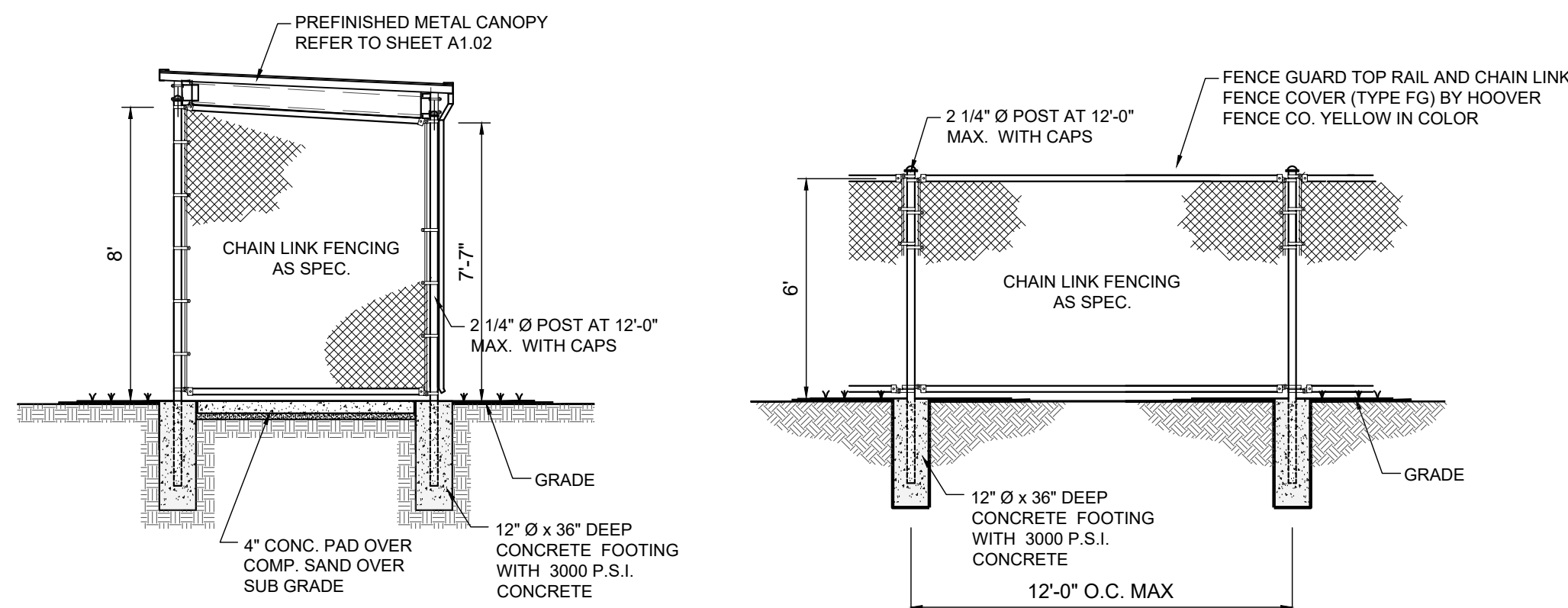
SCALE 1/4" = 1'-0"

CONTRACTOR TO VERIFY WITH HOOVER FENCE CO.  
1-800-355-2335 FOR BACK STOP SIZING & ANCH. REQUIREMENTS



### 03 FOUL POLE DETAIL

SCALE: 1/2" = 1'-0"



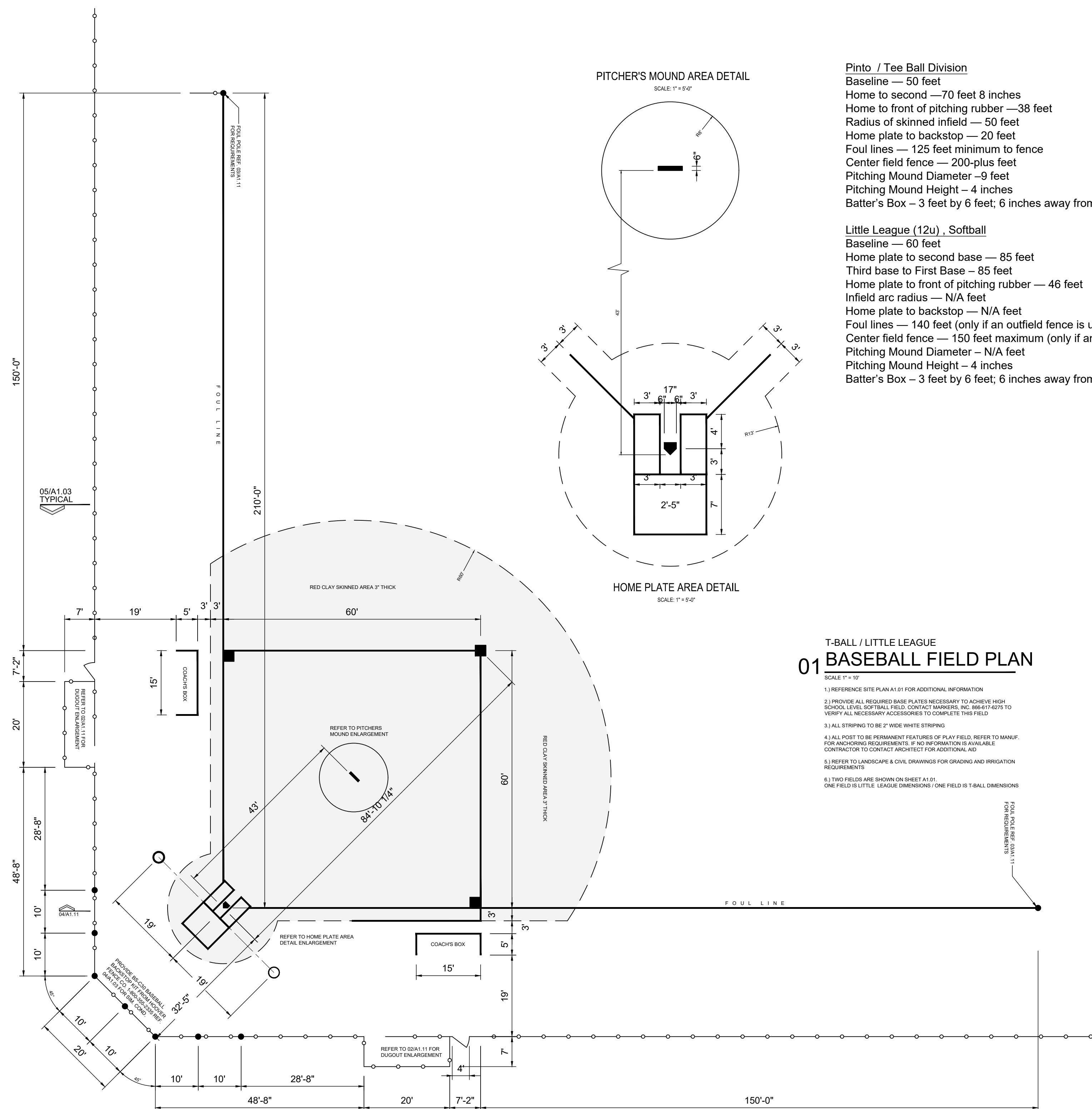
## 06 DUG OUT DETAIL

SCALE 1/4" = 1'-0"

1.) PROVIDE ONE ON EACH SIDE OF PLAY  
FIELD AS SHOWN ON THIS PLAN

## 05 SIDE LINE FENCE

SCALE 1/4" = 1'-0"



## 01 T-BALL / LITTLE LEAGUE BASEBALL FIELD PLAN

SCALE 1" = 10'

1.) REFERENCE SITE PLAN A1.01 FOR ADDITIONAL INFORMATION

2.) PROVIDE ALL REQUIRED BASE PLATES NECESSARY TO ACHIEVE HIGH SCHOOL LEVEL SOFTBALL FIELD. CONTACT MARKERS, INC. 888-817-6275 TO VERIFY ALL NECESSARY ACCESSORIES TO COMPLETE THIS FIELD

3.) ALL STRIPING TO BE 2" WIDE WHITE STRIPING

4.) ALL POST TO BE PERMANENT FEATURES OF PLAY FIELD, REFER TO MANUF FOR ANCHORING REQUIREMENTS. IF NO INFORMATION IS AVAILABLE CONTRACTOR TO CONTACT ARCHITECT FOR ADDITIONAL AID

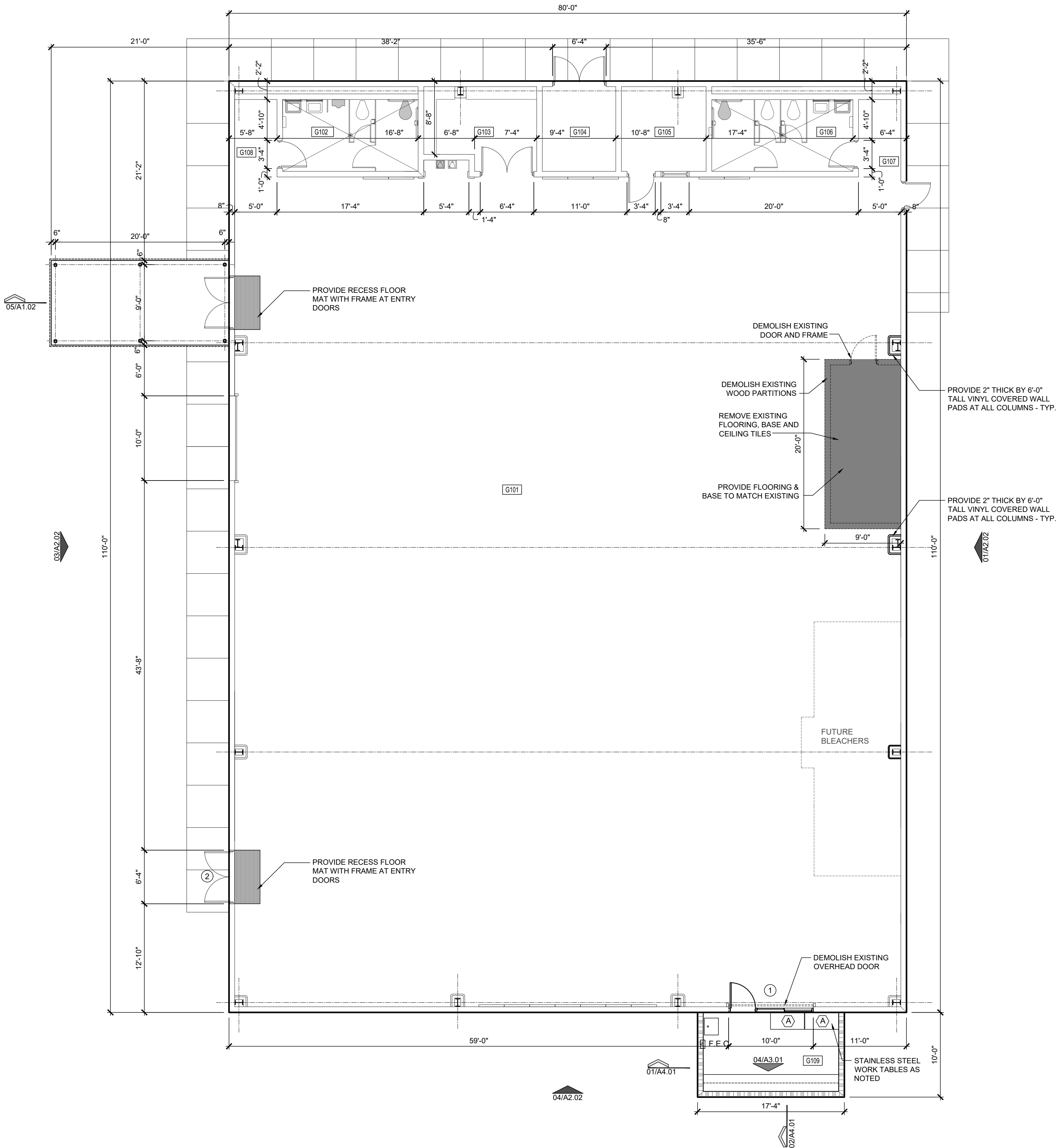
5.) REFER TO LANDSCAPE & CIVIL DRAWINGS FOR GRADING AND REQUIREMENTS

6.) TWO FIELDS ARE SHOWN ON SHEET A1.01.  
ONE FIELD IS LITTLE LEAGUE DIMENSION, ONE FIELD IS T-BALL DIMENSION.

ONE FIELD IS FIFTEEN DIMENSIONS / ONE FIELD IS THREE DIMENSIONS



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ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	BASE	FLR	WALLS				CLG.	CLG. HEIGHTS	REMARKS
				N	S	E	W			
G101	GYMNASIUM	PTD	EXIST	PTD	PTD	PTD	PTD	EXIST	VARIES	3'-4" EPOXY WAINSCOT
G103	STORAGE	PTD	EXIST	PTD	PTD	PTD	PTD	EXIST	9'-0"	
G104	MECHANICAL	PTD	EXIST	PTD	PTD	PTD	PTD	EXIST	-----	
G105	OFFICE	PTD	EXIST	PTD	PTD	PTD	PTD	EXIST	9'-0"	
G102	TOILET *	PTD	EXIST	PTD	PTD	PTD	PTD	EXIST	8'-8"	
G106	TOILET *	PTD	EXIST	PTD	PTD	PTD	PTD	EXIST	8'-8"	
G107	VESTIBULE	PTD	EXIST	PTD	PTD	PTD	PTD	EXIST	VARIES	3'-4" EPOXY WAINSCOT
G108	VESTIBULE	PTD	EXIST	PTD	PTD	PTD	PTD	EXIST	VARIES	3'-4" EPOXY WAINSCOT
G109	CONCESSION	PTD	EPOXY	PTD	CMU/PTD	CMU/PTD	CMU/PTD	SAC 1	10'-0"	3'-4" EPOXY WAINSCOT

\* WALLS TO BE PAINTED WITH EPOXY PAINT AS SPECIFIED

## LEGEND

EXIST	EXISTING TO BE REMAIN
V.C.T	VINYL COMPOSITION TILE
PTD	PAINTED
CMU/PTD	CONC. MASONRY UNIT PAINTED
EPOXY	EPOXY FLOOR PAINT
SAC	SUSPENDED ACOUSTICAL CEILING

## 01 FLOOR PLAN

SCALE 1/8" = 1'-0"



GENERAL NOTES:

1. PAINT ALL INTERIOR CONCRETE MASONRY WALLS - COLOR AS SELECTED BY ARCHITECT'S OFFICE
2. PAINT ALL EXPOSED INTERIOR STRUCTURAL STEEL FRAMING COLOR AS SELECTED BY ARCHITECT'S OFFICE
3. PROVIDE FOR BULLNOSE CMU AT ALL EXTERIOR CORNER CONDITIONS AT WALL AND SILL CONDITIONS - EXCEPT FOR FIRST CMU AT WALL BASE
4. PROVIDE FOR TWO (2) 8" HIGH ACCENT STRIPES & ONE (1) 12" HIGH PAINTED STRIPE AT GYMNASIUM.
5. PROVIDE PAINTED 'BOYS AND GIRLS CLUB LOGO' ON THE INTERIOR WALL OF ROOM G101.
6. PATCH TO MATCH EXISTING FINISHES DISTURBED BY DEMOLITION WORK.
7. PROVIDE TWO (2) ADVANCE TABCO STAINLESS STEEL WORK TABLES - MS-244 TO BE LOCATED IN ROOM G109.

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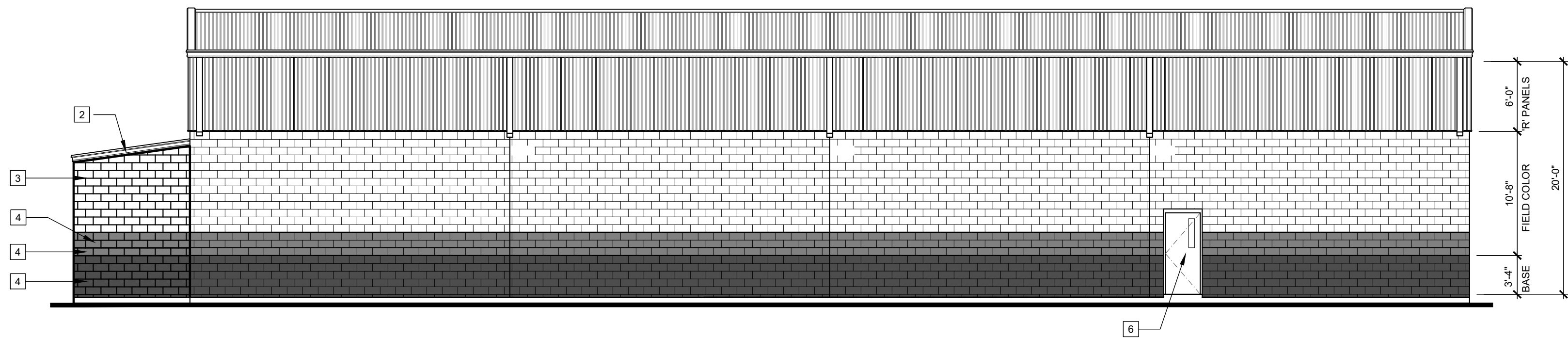


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Project Architect:	Roan G. Gomez, AIA
Drawn By:	RN
Job No.	SANTA ROSA - PHASE 2
Sheet:	

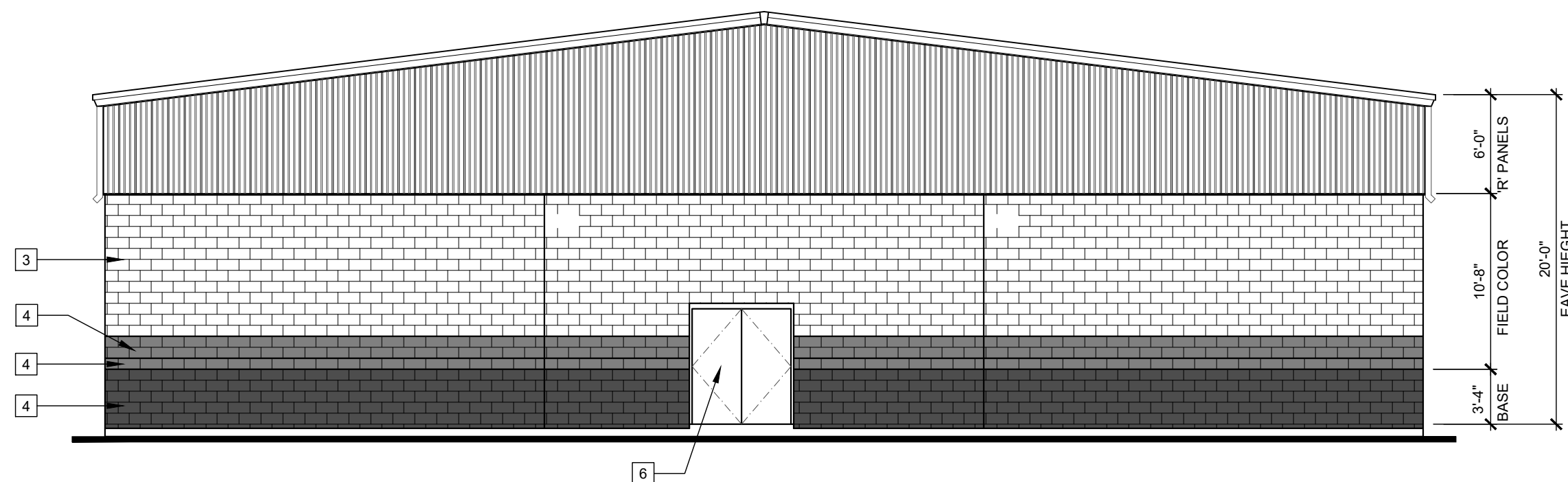
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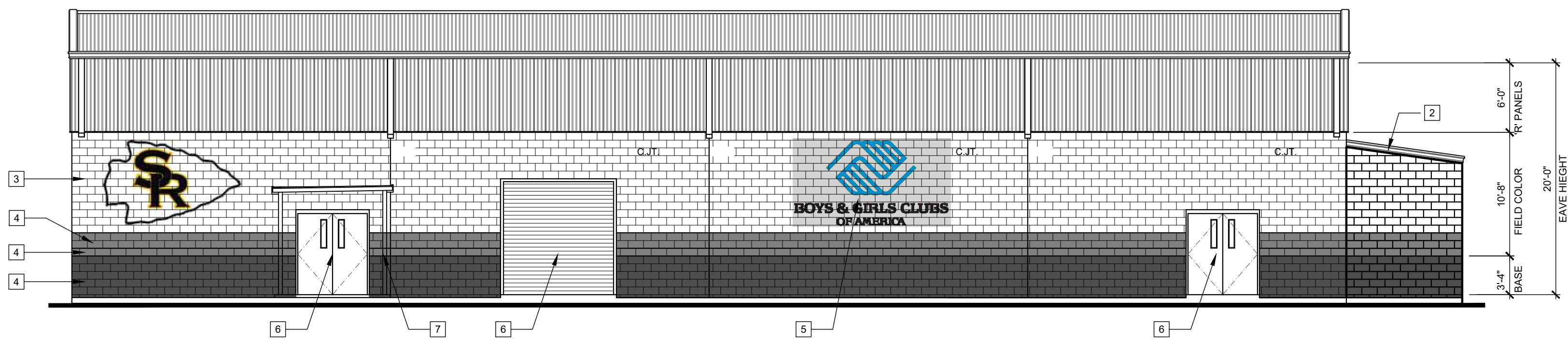
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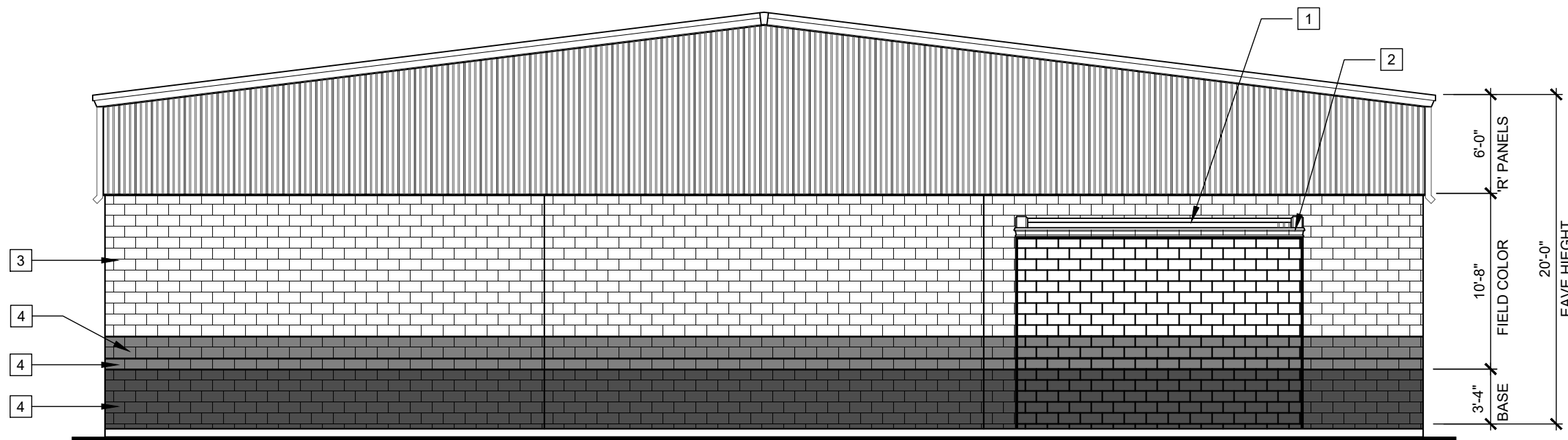
01 EAST BUILDING ELEVATION  
SCALE 1/8" = 1'-0"



02 WEST BUILDING ELEVATION  
SCALE 1/8" = 1'-0"



03 WEST BUILDING ELEVATION  
SCALE 1/8" = 1'-0"



04 SOUTH BUILDING ELEVATION  
SCALE 1/8" = 1'-0"

#### KEYED NOTES

- 1 METAL ROOF PANELS
- 2 PRE-FINISHED FASCIA, GUTTER AND DOWNSPOUTS
- 3 PAINTED CMU EXTERIOR WALL
- 4 PAINTED ACCENT STRIPES
- 5 PAINTED BOYS & GIRLS CLUB LOGO
- 6 PAINTED METAL DOOR AND FRAME
- 7 PREFINISHED METAL WALKWAY CANOPY

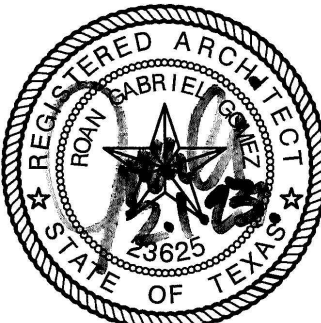
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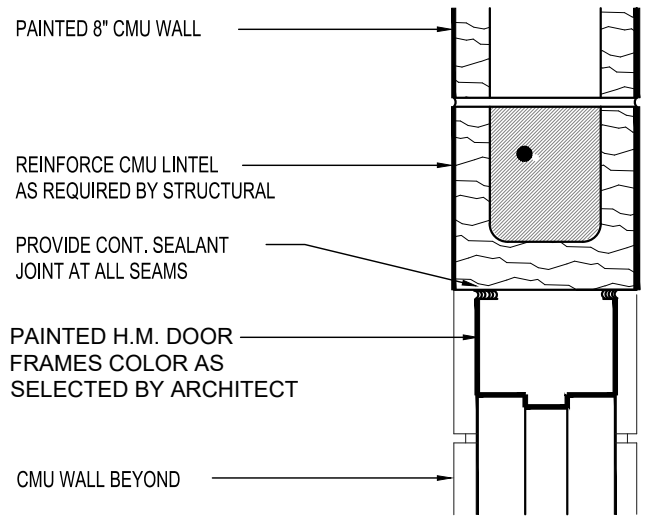


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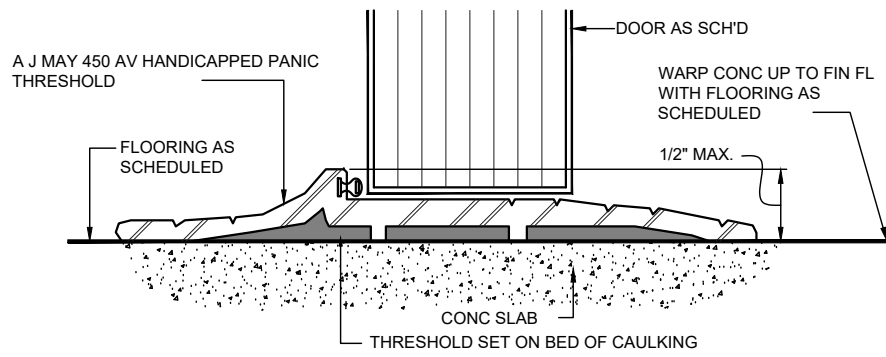
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Sheet:

A2.02

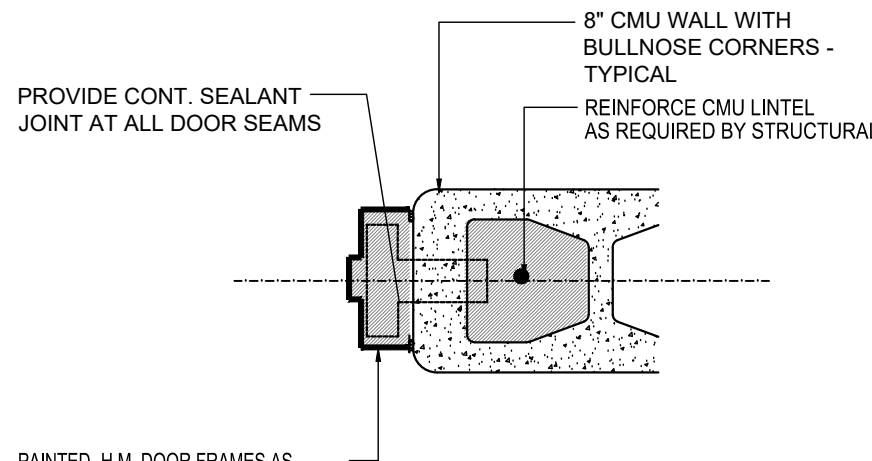




03 DOOR HEAD DETAIL  
SCALE 1-1/2" = 1'-0"



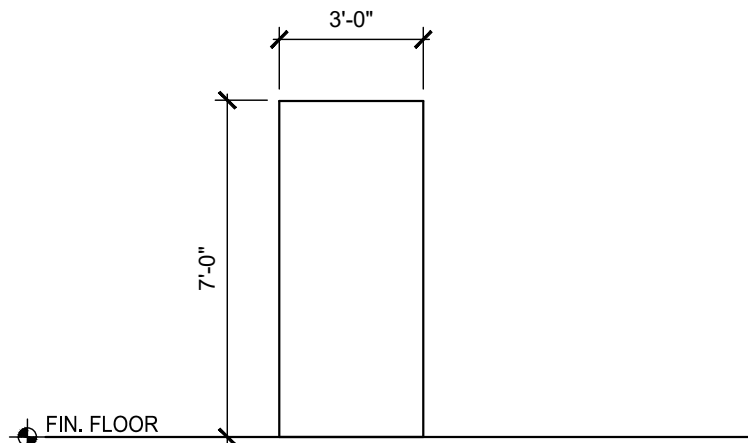
02 THRESHOLD DETAIL  
SCALE 1" = NONE



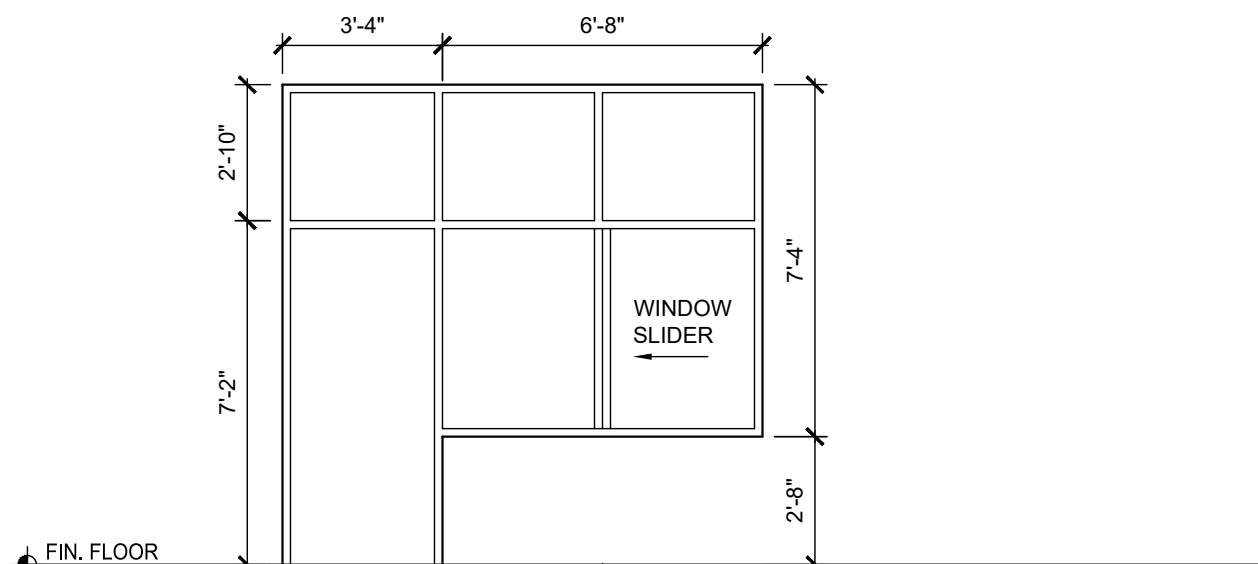
01 DOOR JAMB DETAIL  
SCALE 1-1/2" = 1'-0"

DOOR SCHEDULE												
DOOR NO.	MATL	DOOR			FRAME				HDWR	DETAIL		REMARKS
1	HM	3'-0"	7'-0"	1-3/4"	HM	10'-0"	10'-0"	5-3/4"	A	01/A3.01	03/A3.01	

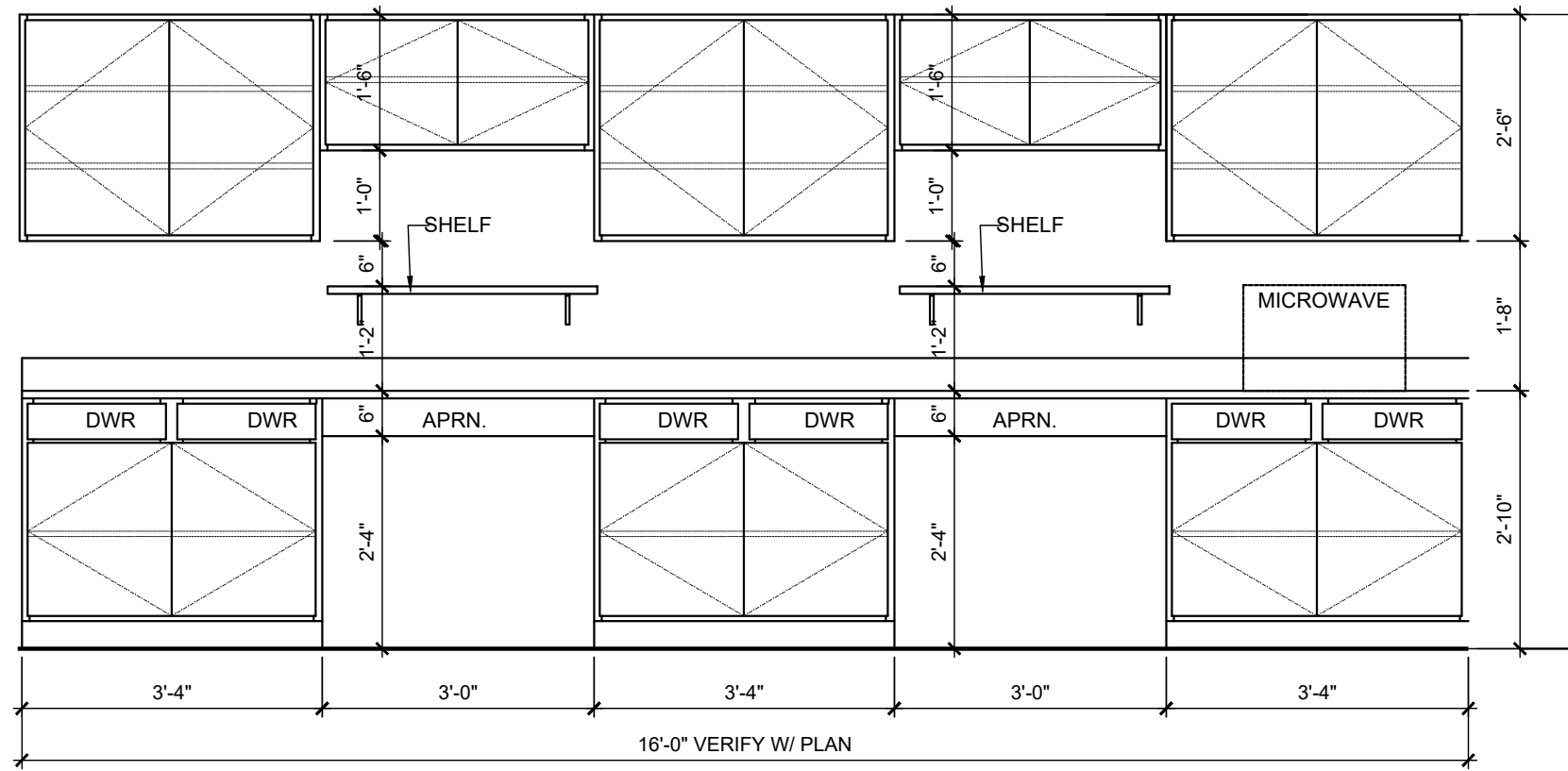
N.O.T.E: 1. ALL EXTERIOR DOORS TO BE HOT DIPPED GALVANIZED REGARDLESS WHETHER NOTED OR NOT NOTED (DOES NOT APPLY FOR ALUMINUM DOORS)  
2. ALL EXTERIOR DOORS TO MEET HURRICANE AND HIGH IMPACT RESISTANCE REQUIREMENTS WHETHER NOTED OR NOT NOTED  
3. SUBMIT TESTS FOR WIND LOAD COMPLIANCE. REFER TO STRUCTURAL NOTES FOR LOADING REQUIREMENTS



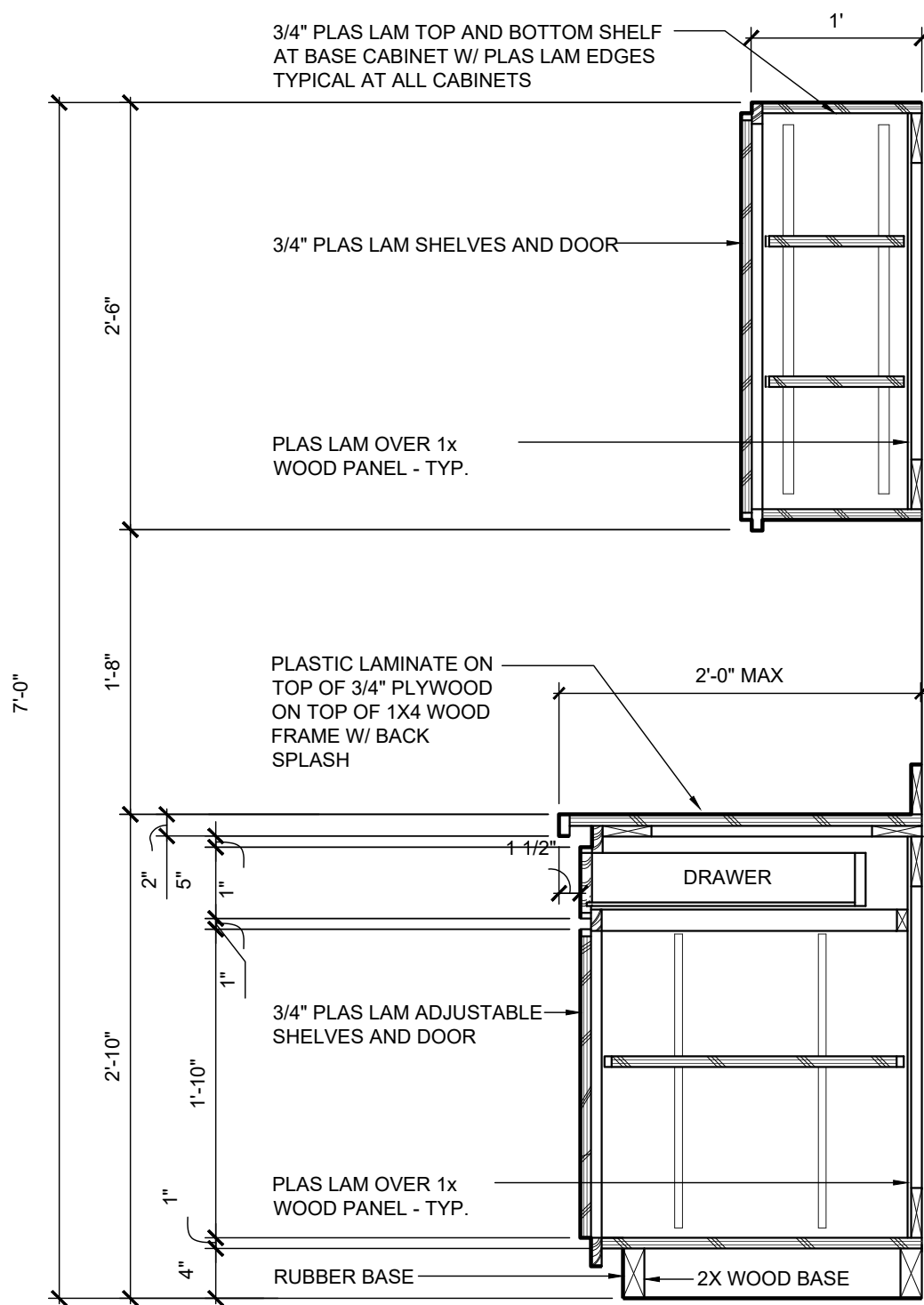
01 INSULATED GALV HM  
DOOR ELEVATIONS  
SCALE 1/4" = 1'-0"



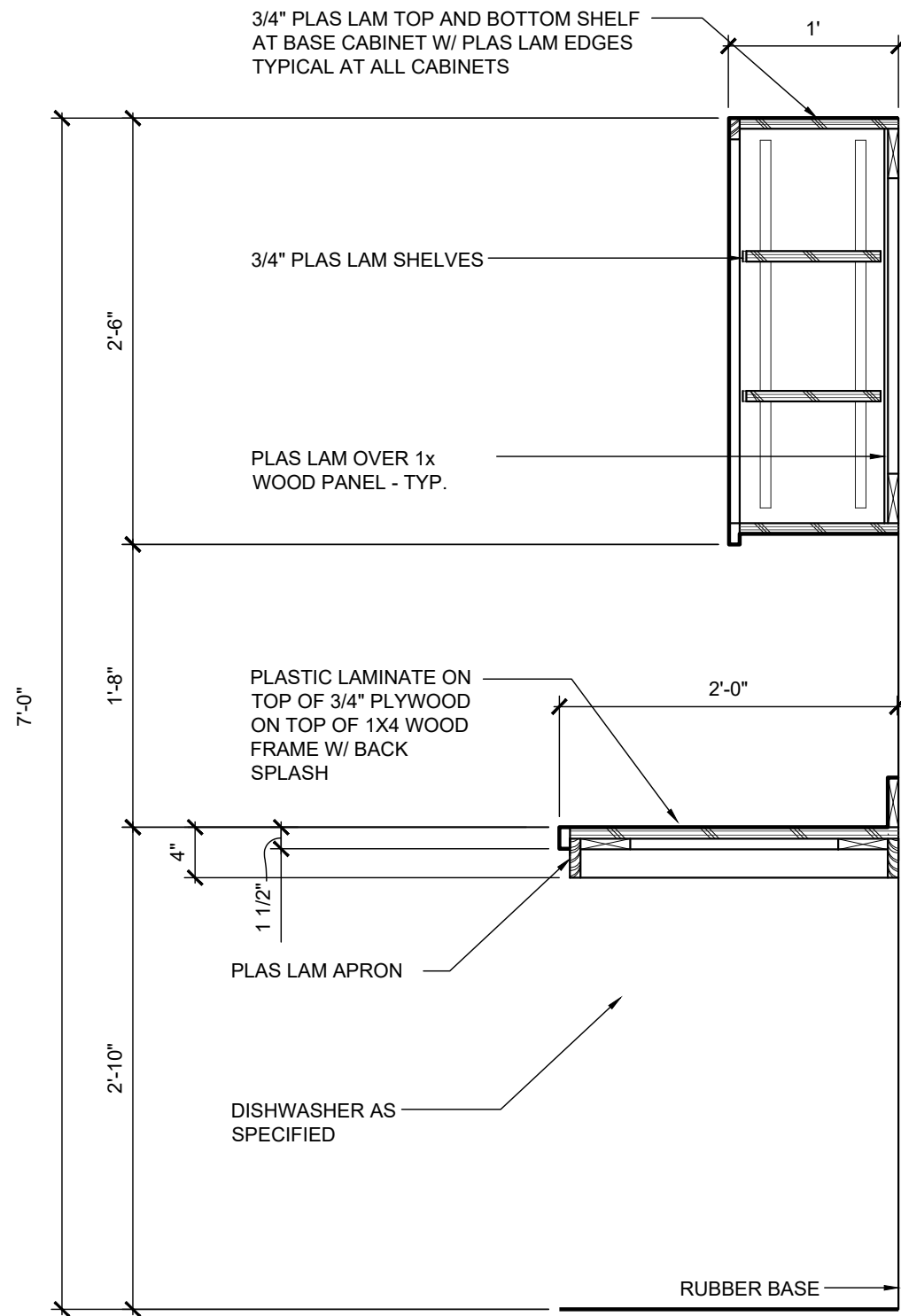
1 EXTERIOR HM  
FRAME ELEVATIONS  
SCALE 1/4" = 1'-0"  
ALL GLAZING TO BE LAMINATED SAFETY GLASS



04 CABINET ELEVATION  
SCALE 1/2" = 1'-0"



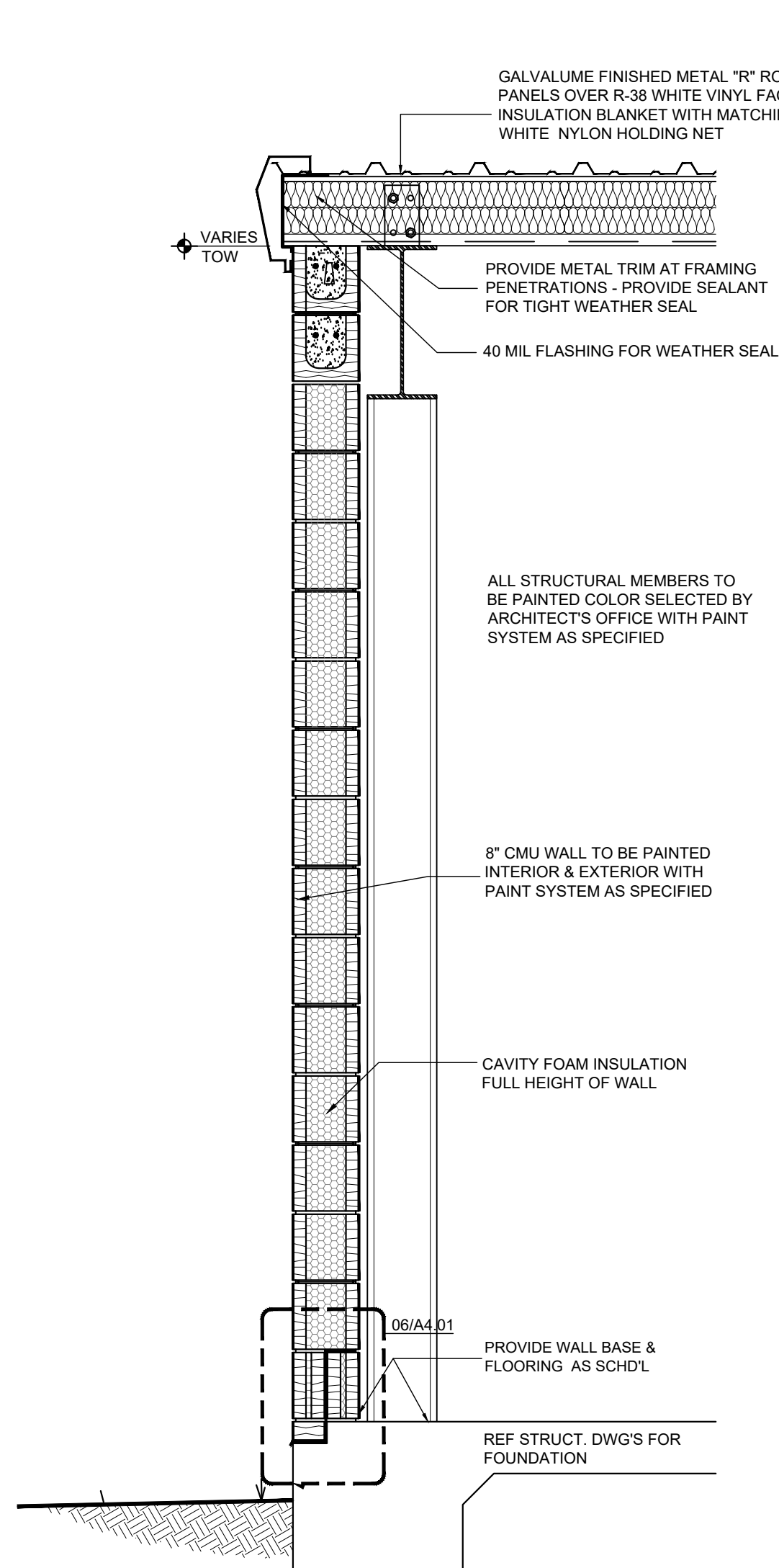
05 CABINET SECTION  
SCALE 1" = 1'-0"



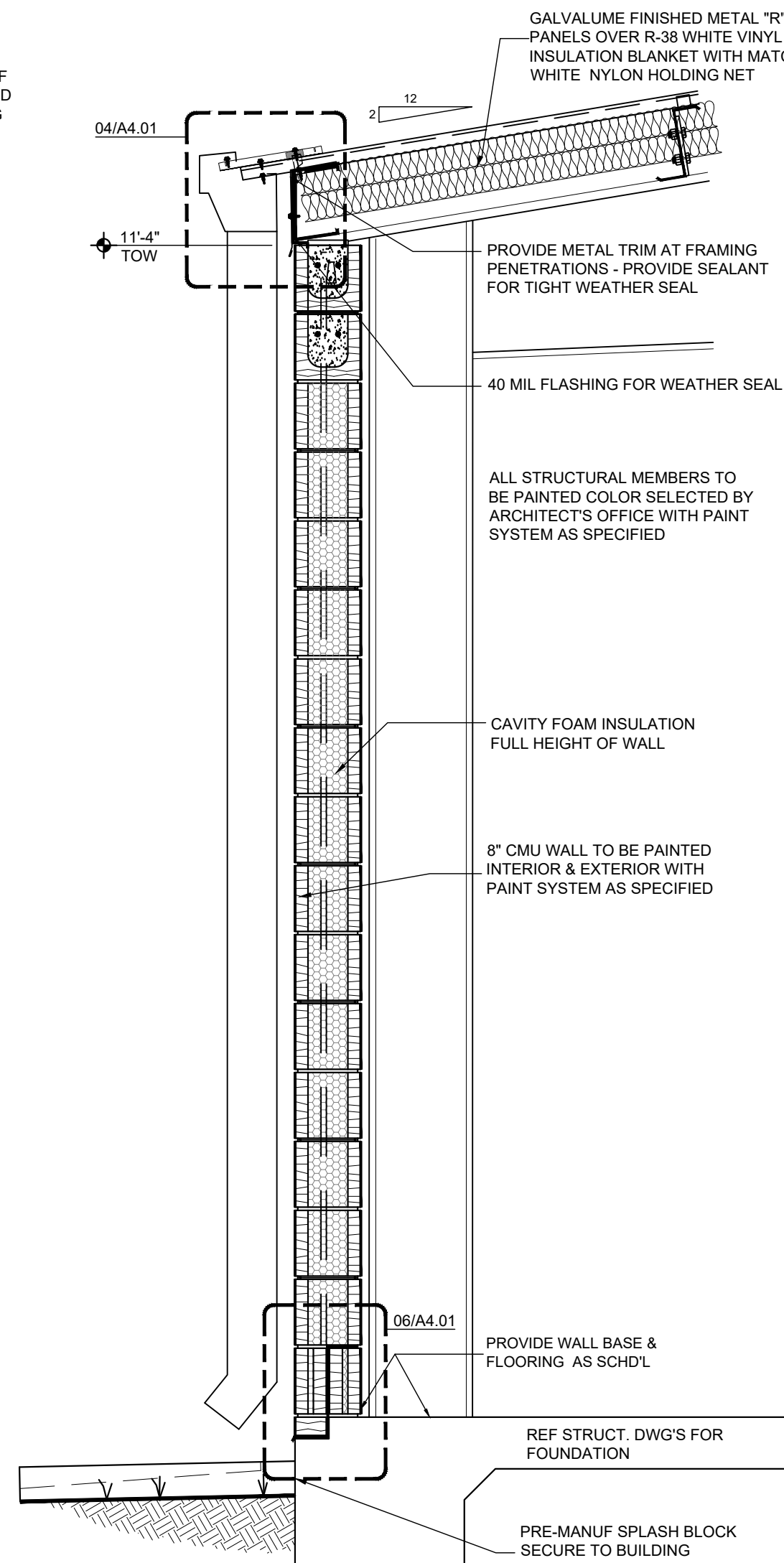
06 CABINET SECTION  
SCALE 1" = 1'-0"



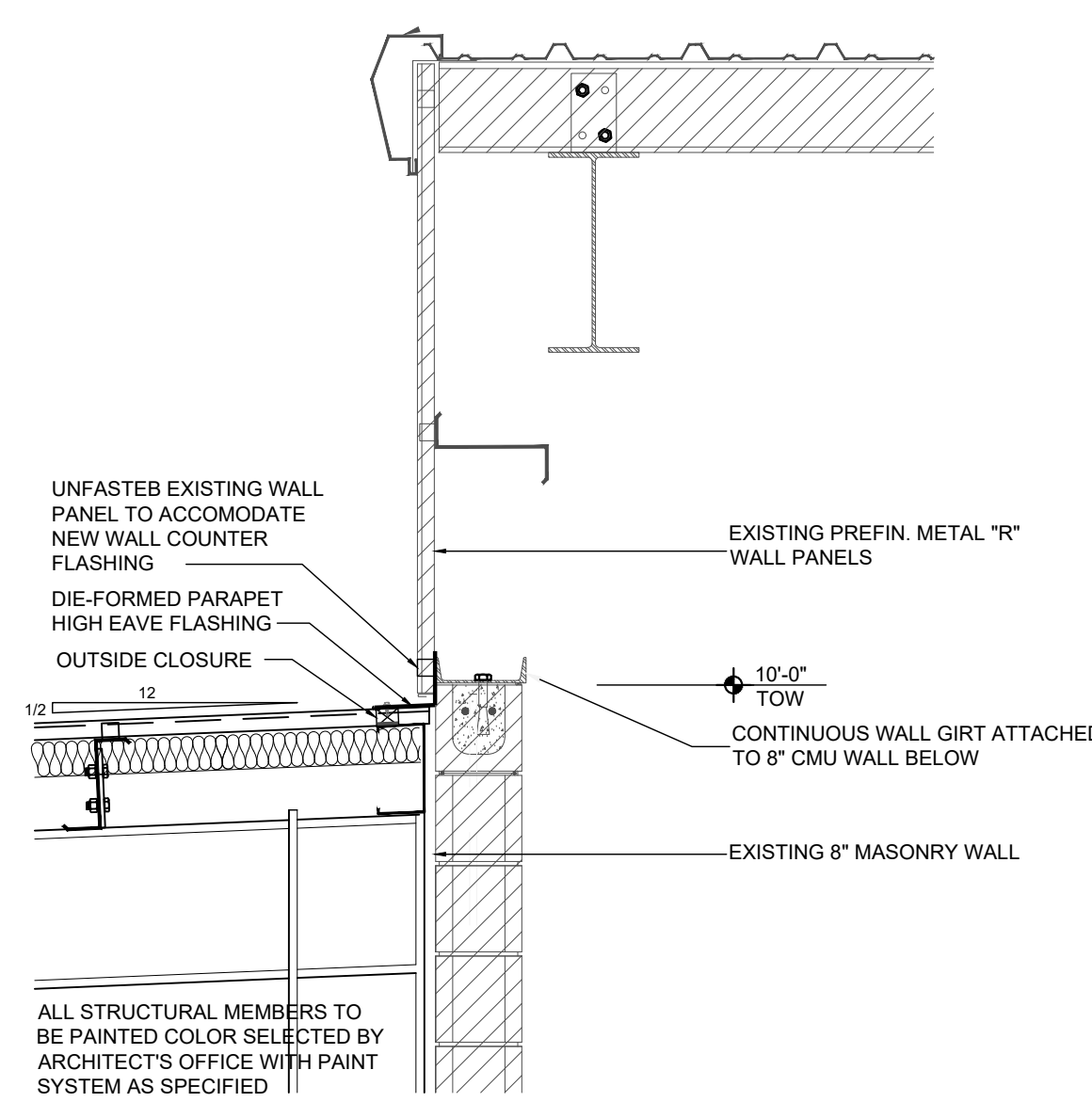
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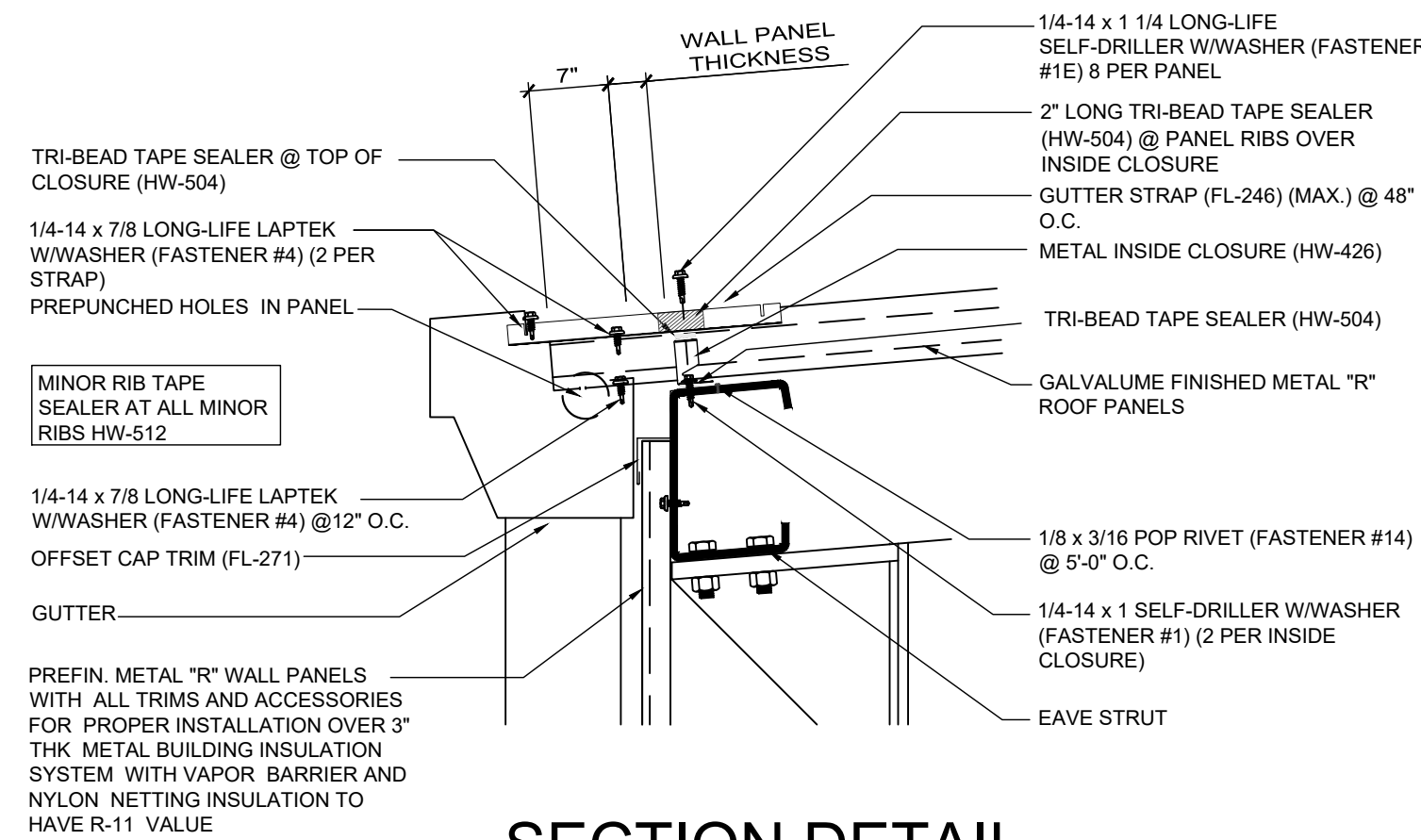
01 WALL SECTION  
SCALE 3/4" = 1'-0"



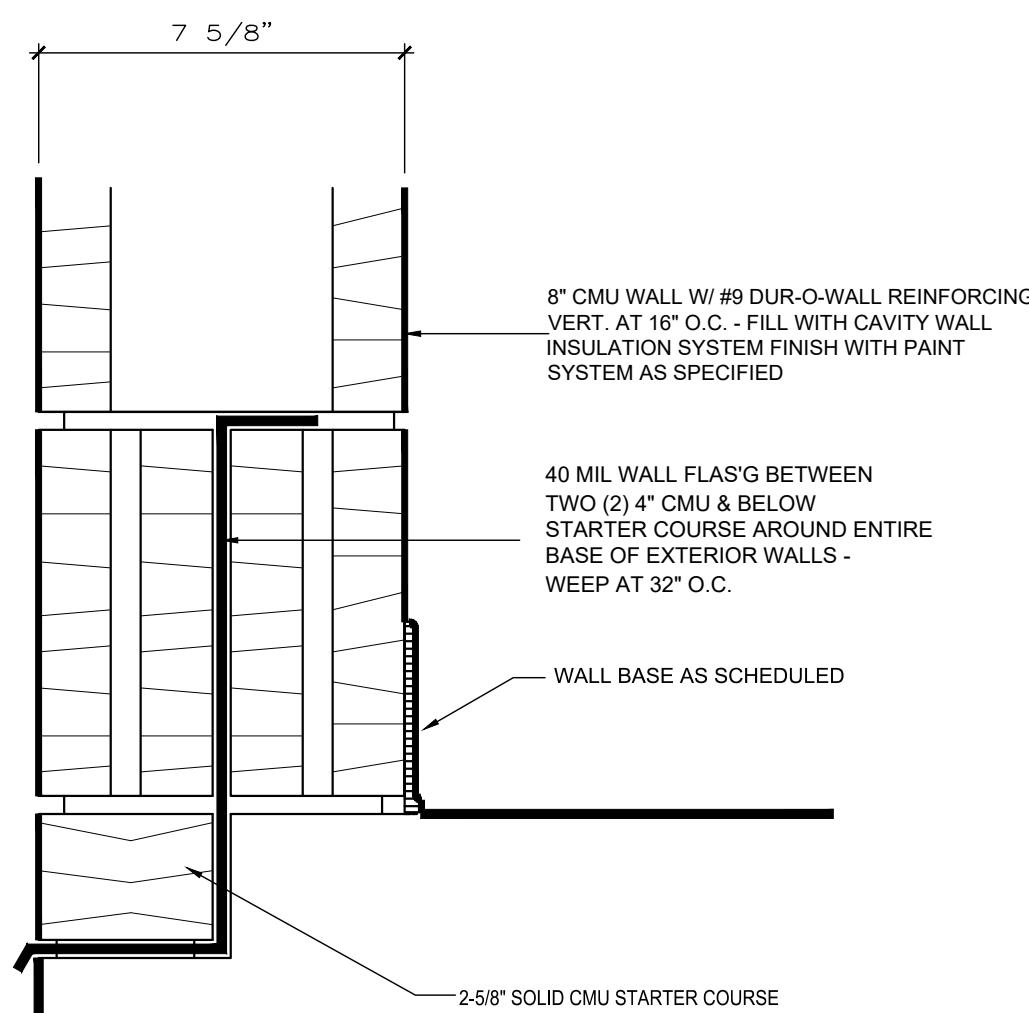
02 WALL SECTION  
SCALE 3/4" = 1'-0"



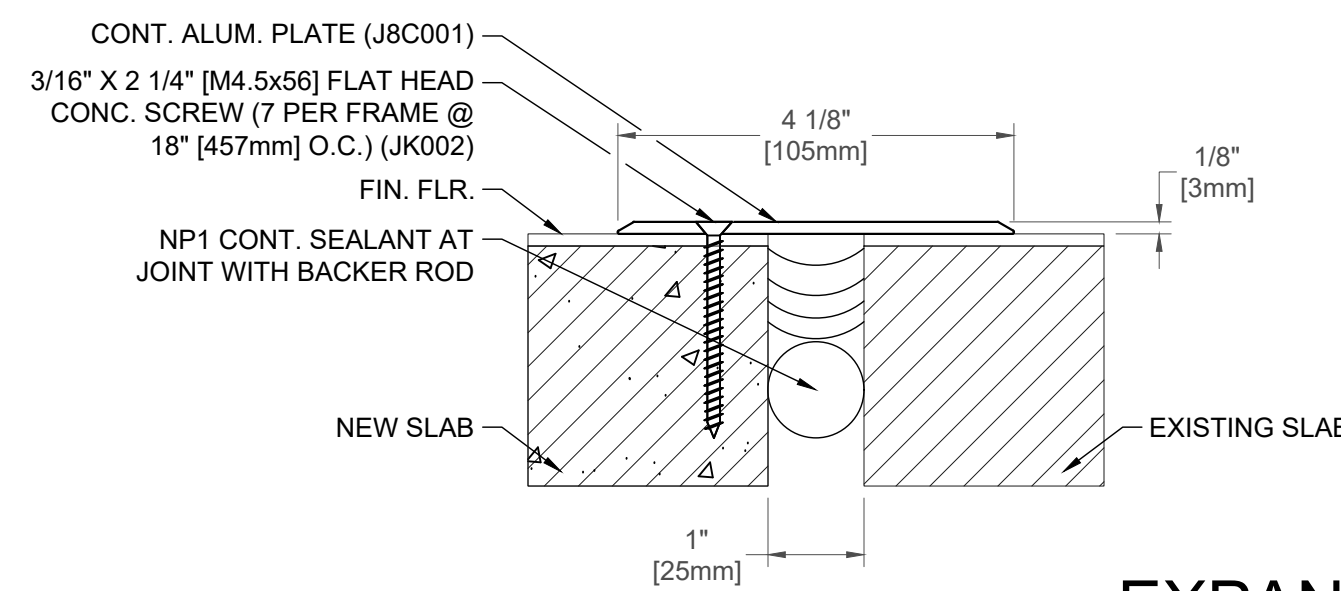
03 WALL SECTION  
SCALE 3/4" = 1'-0"



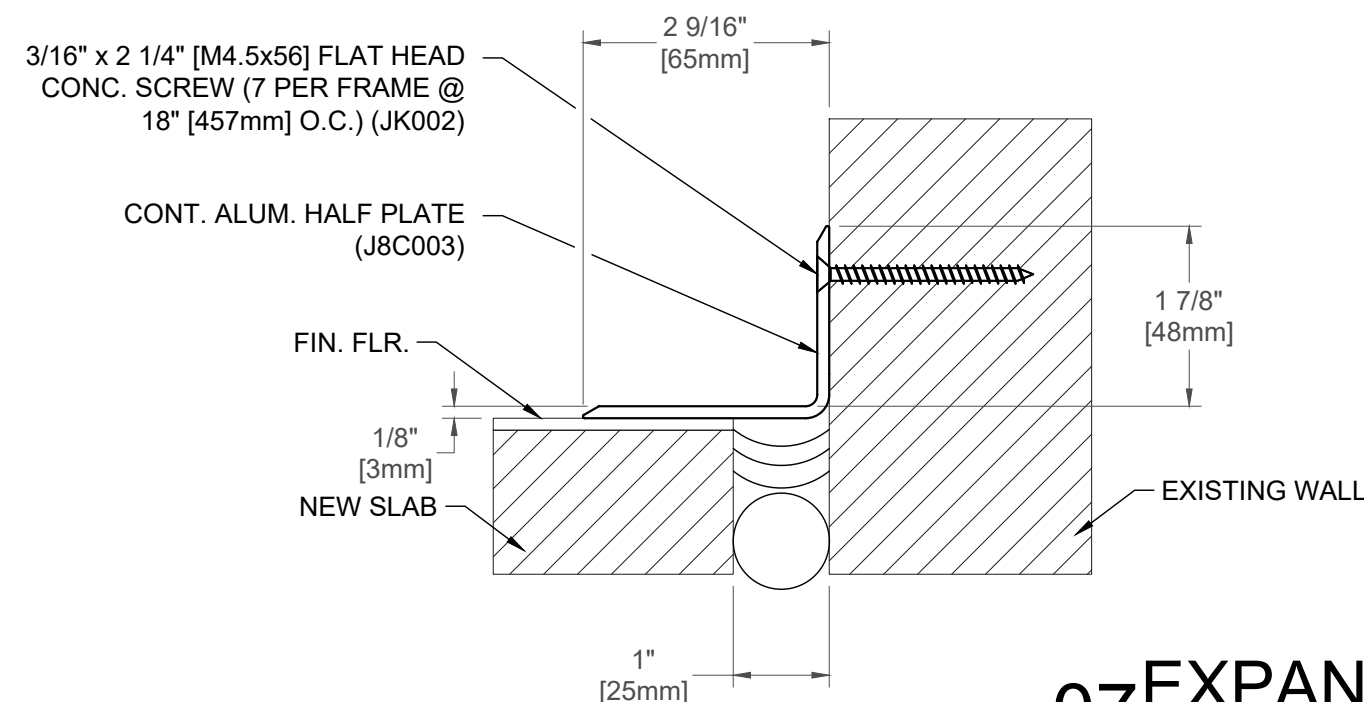
04 SECTION DETAIL  
SCALE 1-1/2" = 1'-0"



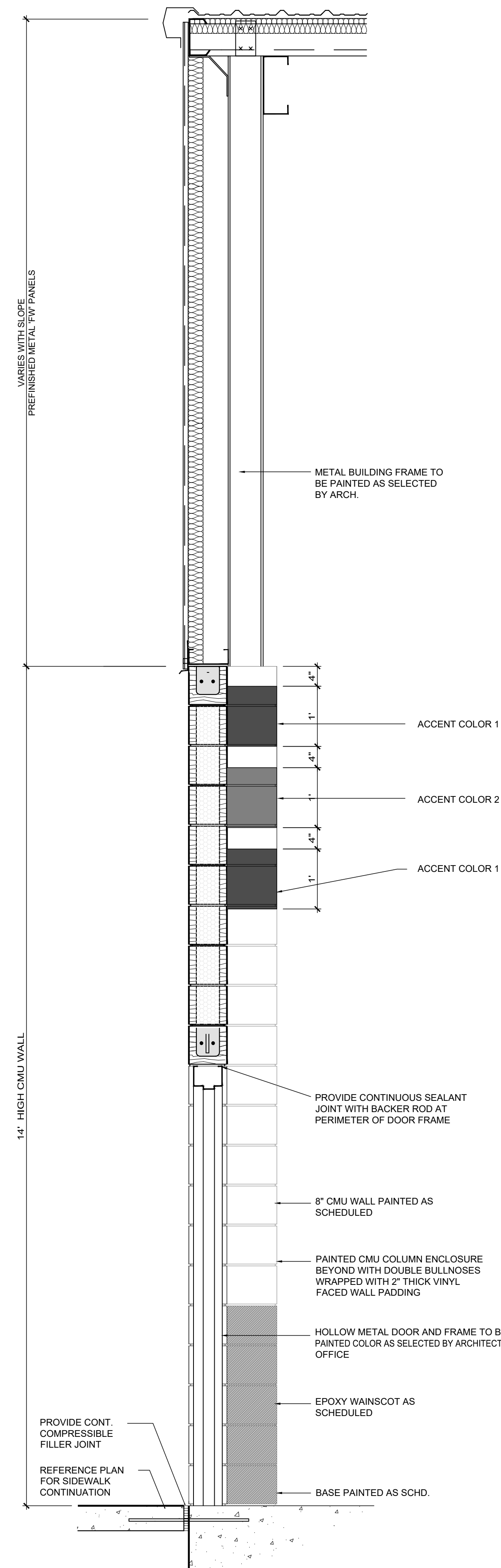
05 SECTION DETAIL  
SCALE 3" = 1'-0"



06 EXPANSION JT DETAIL  
HALF SCALE



07 EXPANSION JT DETAIL  
HALF SCALE



08 WALL SECTION  
SCALE 3/4" = 1'-0"  
TYPICAL EXTERIOR WALL SECTION

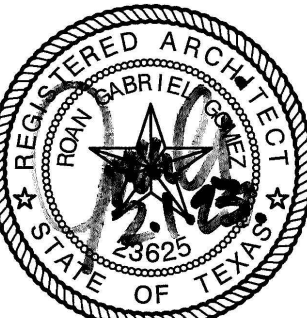
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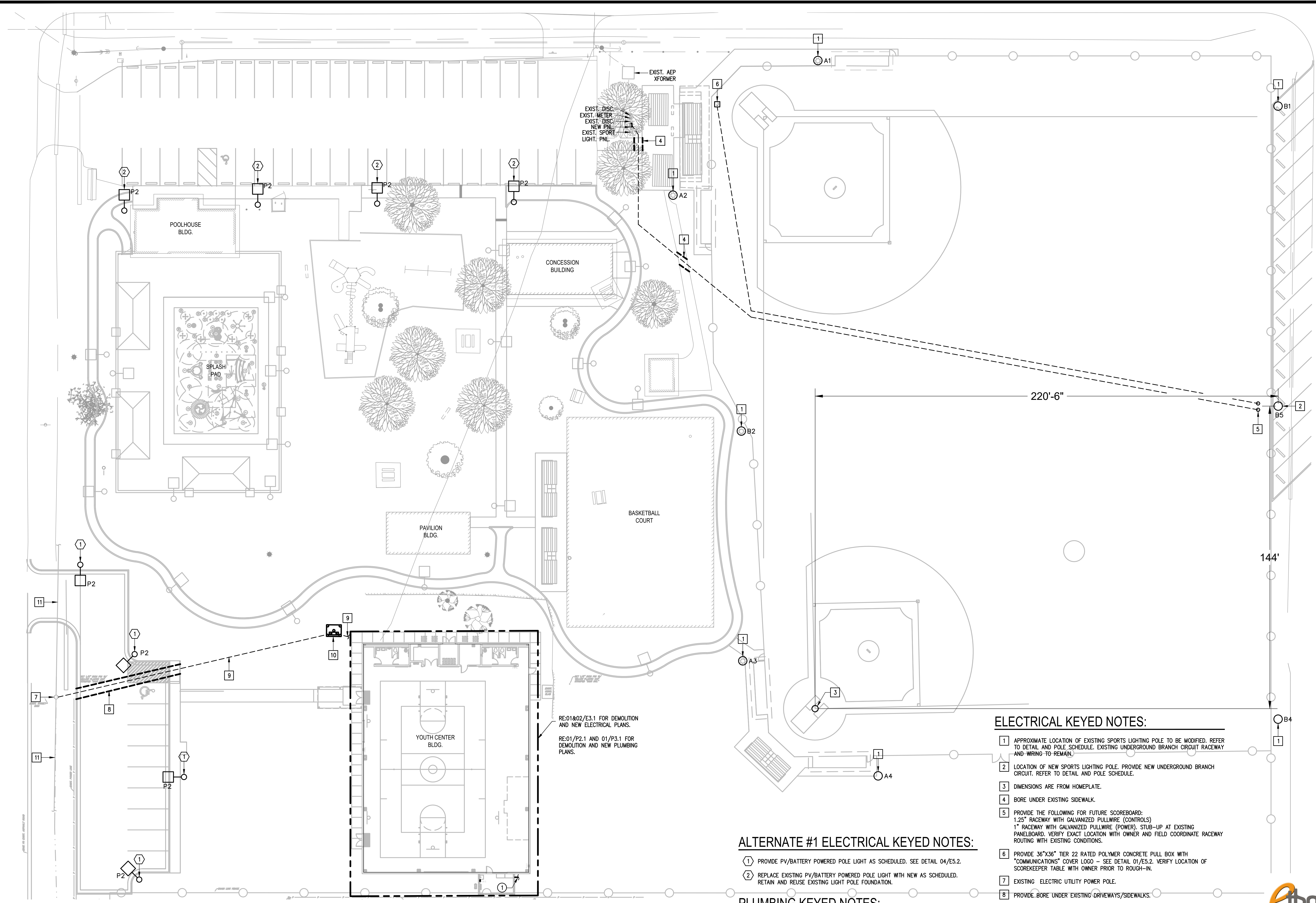


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A4.01





01 E.P. SITE PLAN  
SCALE: 1" = 20'-0"



ALTERNATE #1 ELECTRICAL KEYED NOTES:

- 1 PROVIDE PV/BATTERY POWERED POLE LIGHT AS SCHEDULED. SEE DETAIL 04/E5.2.
- 2 REPLACE EXISTING PV/BATTERY POWERED POLE LIGHT WITH NEW AS SCHEDULED. RETAIN AND REUSE EXISTING LIGHT POLE FOUNDATION.

PLUMBING KEYED NOTES:

- 1 PROVIDE NEW 2" SANITARY SEWER LINE. SEE PLUMBING DRAWINGS FOR MORE DETAILS AND CIVIL DRAWINGS FOR CONNECTION AND CONTINUATION.


ELECTRICAL KEYED NOTES:

- 1 APPROXIMATE LOCATION OF EXISTING SPORTS LIGHTING POLE TO BE MODIFIED. REFER TO DETAIL AND POLE SCHEDULE. EXISTING UNDERGROUND BRANCH CIRCUIT RACEWAY AND WIRING TO REMAIN.
- 2 LOCATION OF NEW SPORTS LIGHTING POLE. PROVIDE NEW UNDERGROUND BRANCH CIRCUIT. REFER TO DETAIL AND POLE SCHEDULE.
- 3 DIMENSIONS ARE FROM HOMEPLATE.
- 4 BORE UNDER EXISTING SIDEWALK.
- 5 PROVIDE THE FOLLOWING FOR FUTURE SCOREBOARD:  
1.25" RACEWAY WITH GALVANIZED PULLWIRE (CONTROLS)  
1" RACEWAY WITH GALVANIZED PULLWIRE (POWER). STUB-UP AT EXISTING PANELBOARD. VERIFY EXACT LOCATION WITH OWNER AND FIELD COORDINATE RACEWAY ROUTING WITH EXISTING CONDITIONS.
- 6 PROVIDE 36"x36" TIER 22 RATED POLYMER CONCRETE PULL BOX WITH "COMMUNICATIONS" COVER LOGO - SEE DETAIL 01/E5.2. VERIFY LOCATION OF SCOREKEEPER TABLE WITH OWNER PRIOR TO ROUGH-IN.
- 7 EXISTING ELECTRIC UTILITY POWER POLE.
- 8 PROVIDE BORE UNDER EXISTING DRIVEWAYS/SIDEWALKS.
- 9 PROVIDE UNDERGROUND FEEDER.
- 10 PROVIDE NEW ELECTRIC UTILITY PAD MOUNT TRANSFORMER CONCRETE PAD.
- 11 EXISTING ELECTRIC 3Ø UTILITY OVERHEAD SERVICE LINES.



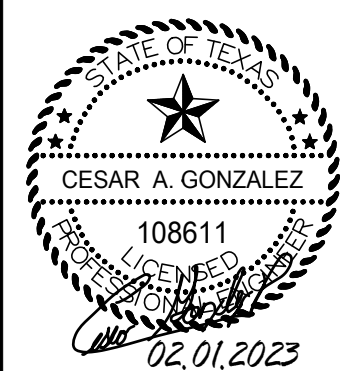
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Project Architect:	Ronan G. Gomez, AIA
Drawn By:	ETHOS
Job No.	22x114
Sheet:	

EP1.1



ABBREVIATIONS:

A	AMPS	EMS	ENERGY MANAGEMENT SYSTEM	MOCP	MAX. OVERCURRENT PROTECTION
ABC	ABOVE CEILING LINE	EXT.	EXTERNAL OR EXTERIOR	NTS	NOT TO SCALE
AC	ABOVE COUNTER BACKSPLASH	FACP	FIRE ALARM CONTROL PANEL	OA	OUTSIDE AIR
ACCU	AIR COOLED CONDENSING UNIT	FCU	FAN COIL UNIT	OAU	OUTSIDE AIR UNIT
AHU	AIR HANDLING UNIT	FD	FIRE DAMPER	P	POLE(S)
AFF	ABOVE FINISHED FLOOR	FS	FLAT SCREEN	PA	PUBLIC ADDRESS
ACB	ABOVE COUNTER BACKSPLASH	G.	GROUND	PH	PHASE
B.	BOTTOM	GA.	GAGE	RM.	ROOM
BLC.	BELOW CEILING LINE	GALV.	GALVANIZED	SS	STAINLESS STEEL
C.	CONDUIT OR COMMON	GRND.	GROUND	TSTAT	THERMOSTAT
CLG.	CEILING	HP	HORSEPOWER	UG	UNDERGROUND
COMB.	COMBINATION	HVAC	HEATING, VENTILATION, & AIR CONDITIONING	UNO	UNLESS OTHERWISE NOTED
COND.	CONDUIT			V	VOLTS
CU.	COPPER	IG	ISOLATED GROUND	VAV	VARIABLE AIR VOLUME
DDC	DIRECT DIGITAL CONTROLS	INT.	INTRUSION DETECTION	VFD	VARIABLE FREQUENCY DRIVE
DISC.	DISCONNECT	MECH	MECHANICAL	WACU	WALL AIR CONDITIONING UNIT
EDH	ELECTRIC DUCT HEATER	MS	MOTOR STARTER	W	WIRE
EF	EXHAUST FAN				

LIGHTING SYMBOL LEGEND:

SYMBOL	DESCRIPTION	MNTG. HT. UNO (SEE NOTE 1)
	2'X4' LIGHT FIXTURE – TYPE AS NOTED	– – – –
	EMERGENCY 2'X4' LIGHT FIXTURE–TYPE AS NOTED CONNECT BATTERY PACK TO BE ON AT ALL TIMES (UNSWITCHED)	– – – –
	SURFACE/WRAPAROUND LIGHT FIXTURE	– – – –
	SURFACE/WRAPAROUND EMERGENCY LIGHT FIXTURE CONNECT BATTERY PACK TO BE ON AT ALL TIMES (UNSWITCHED)	– – – –
	SINGLE FACE EXIT SIGN CEILING OR WALL MOUNTING (DIRECTIONAL ARROWS WHERE INDICATED)	12" ABV. EGRESS OPENING
	DOUBLE FACE EXIT SIGN CEILING OR WALL MOUNTING (DIRECTIONAL ARROWS WHERE INDICATED)	12" ABV. EGRESS OPENING
	EMERGENCY LIGHTING UNIT	8'-0" AFF
	WALL MOUNT LIGHT FIXTURE – TYPE AS NOTED	– – – –
	HIGH BAY FIXTURE – TYPE AS NOTED	– – – –

NOTES:

1.) REFERENCE LIGHT FIXTURE SCHEDULE FOR ALL MOUNTING HEIGHTS.

LIGHTING WIRING DEVICES SYMBOL LEGEND:

SYMBOL	DESCRIPTION	MNTG. HT. UNO (SEE NOTE 1)
S	SINGLE POLE TOGGLE SWITCH – HUBBELL MODEL #HBL1221W (WHITE)	48" AFF
S <sub>vs</sub>	VACANCY WALL SENSOR SWITCH – LUTRON MODEL #MS-OPS2-WH (CW-1-WH). PROVIDE 0-10V SIGNAL WIRE IN RACEWAY FROM SWITCH TO EA. CONTROLLED LIGHT FIXTURE.	48" AFF
	DIGITAL OUTDOOR PHOTO CELL WALL MOUNTED	– – – –

NOTES:

1.) 48" AFF INDICATES TO TOP OF DEVICE;  
ALL OTHER MOUNTING HEIGHTS REFER TO CENTERLINE OF DEVICE.

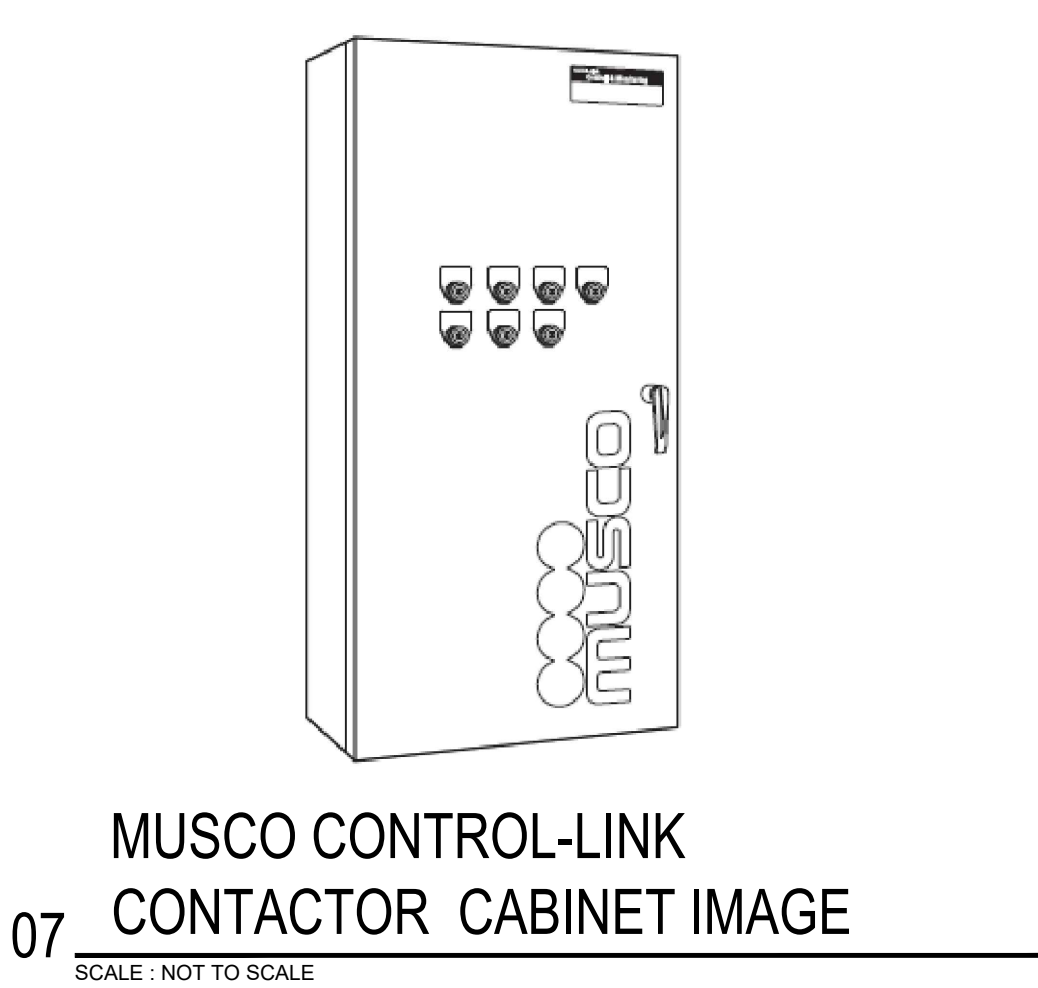
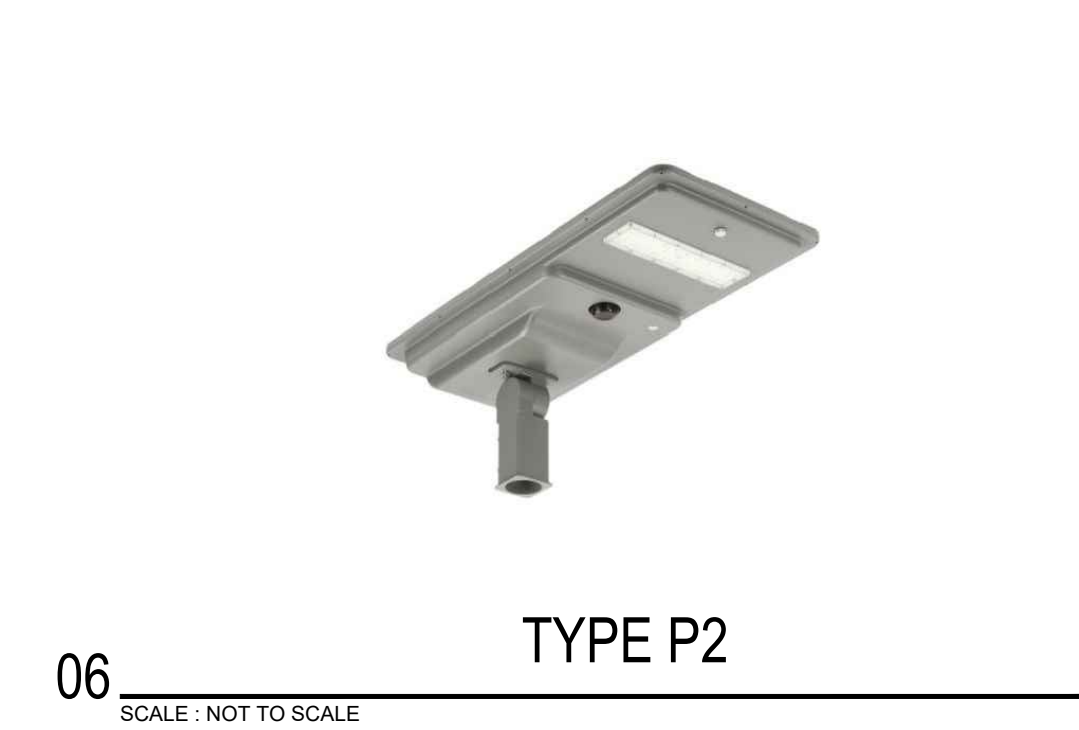
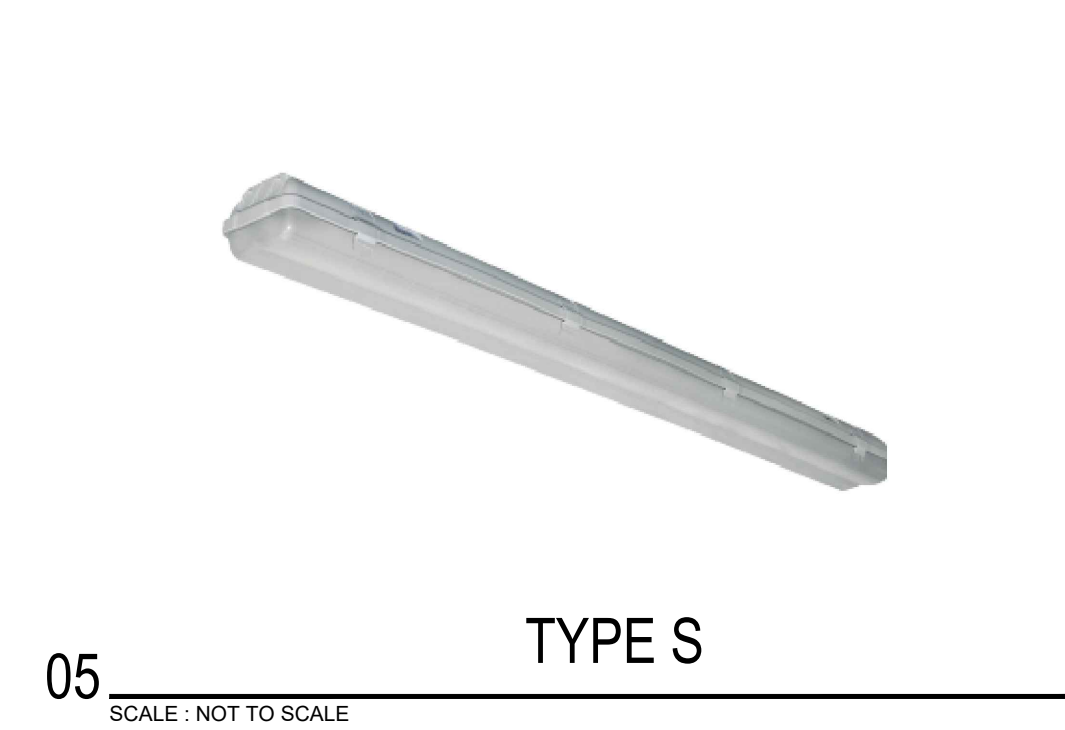
GENERAL SYMBOL LEGEND:

SYMBOL	DESCRIPTION	MNTG. HT. UNO (SEE NOTE 1)
	ELECTRICAL PANELBOARD – SURFACE MOUNTED	AS REQUIRED
	CONCEALED RACEWAY	AS REQUIRED

LUMINAIRE SCHEDULE											
CALLOUT	LAMP	DESCRIPTION	DRIVER	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTE 1	LUMENS / LAMP	LUMENS MAINT.	HOURS
A2	LED	2'X4' LAY-IN INDIRECT TROFFER	0-10V	RECESSED	LITHONIA: 2BLT4 40L ADSM MVOLT GZ10 LP840 LSI: OPT24 LED FS1 4066LM UNV DIM	34	MULTIPLE		4032	L80	60,000
A2E	LED	2'X4' LAY-IN INDIRECT TROFFER	0-10V	RECESSED	LITHONIA: 2BLT4 40L ADSM MVOLT GZ10 LP840 EL14L LSI: OPT24 LED FS1 4066LM UNV DIM EM	34	MULTIPLE	PROVIDE WITH AN EMERGENCY BATTERY PACK.	4032	L80	60,000
D2	LED	4' WRAPAROUND	0-10V	SURFACE/ROD	LITHONIA: BLWP4 48L SDSM GZ10 LP840 WILLIAMS: 17-4-L55/840-AF-DIM-UNV	40	MULTIPLE		5205	L90	50,000
D2E	LED	4' WRAPAROUND	0-10V	SURFACE/ROD	LITHONIA: BLWP4 48L SDSM GZ10 LP840 E10WLCP WILLIAMS: 17-4-L55/840-AF-EM/10W-DIM-UNV	40	MULTIPLE	PROVIDE WITH AN EMERGENCY BATTERY PACK.	5205	L90	50,000
H4	LED	15" ROUND HIGH BAY	0-10V	SURFACE	AEL: LUFOHB-14-4K-PRM-BLK-UNV LITHONIA: JEBL 12L 40K 80CRI WH	100	277V 1P 2W		13961	L70	141,000
H6	LED	15" ROUND HIGH BAY	0-10V	SURFACE	AEL: LUFOHB-21-4K-PRM-BLK-UNV LITHONIA: JEBL 18L 40K 80CRI WH	150	277V 1P 2W		20799	L70	141,000
ME	LED	WALLPACK	0-10V	SURFACE	LITHONIA: WDGE2 LED P3 40K 80CRI VF MVOLT E10WH DDBXD RAYON: T630LEDB 27 UN112 40 T3 BZ G2 EM	27	MULTIPLE	PROVIDE UL LISTED FOR WET LOCATIONS AND WITH AN EMERGENCY BATTERY PACK. PROVIDE DARK BRONZE FINISH TO MATCH EXISTING.	3000	L80	50,000
N	LED	WALLPACK	0-10V	SURFACE	LITHONIA: WDGE2 LED P4 40K 80CRI VF MVOLT DDBXD RAYON: T630LEDB 45 UN112 40 T3 BZ G2	50	MULTIPLE	PROVIDE UL LISTED FOR WET LOCATIONS. PROVIDE DARK BRONZE FINISH TO MATCH EXISTING.	6000	L80	50,000
P2	LED	LED SOLAR AREA LIGHT		POLE	ROMANSO: RMS-H210480 POLE: ENERGY LIGHT INC H18A5RS125 39" X 20.47" X 12.48"	80	MULTIPLE	PROVIDE FIXTURE UL LISTED FOR WET LOCATIONS AND WITH A MOTION SENSOR & TIME CONTROLLER TOGETHER. POLE SHALL BE 18' ROUND STRAIGHT ALUMINUM & RATED FOR 138MPH WINDS. PROVIDE POLE WITH A VIBRATION DAMPER. STANDARD COLOR FINISH TO BE SELECTED AT A LATER DATE.COLOR TEMPERATURE 57K.5 YEARS OF WARRANTY.	13600	LM-70	50,000
S	LED	WRAPAROUND	0-10V	SURFACE	VENTURE: VP4-40NA-BF1 BEGHELLI: BS101LED 4 HT L0 WT40 120-277V SS TPS	50	277V 1P 2W	PROVIDE UL LISTED FOR DAMP LOCATIONS AND PROVIDE CORNER MOUNT BRACKET. PROVIDE LIGHT GRAY FINISH TO MATCH PHASE I.	6318	L70	60,000

GENERAL NOTES:

1.OTHER LIGHT FIXTURE MANUFACTURERS THAN THOSE LISTED ON THIS SCHEDULE ARE REQUIRED TO OBTAIN PRIOR APPROVAL BY SUBMITTING CUT SHEETS OF THEIR SUBSTITUTIONS AT LEAST (10) DAYS PRIOR TO BID. CUT SHEETS SHALL INDICATE/HIGHLIGHT PHOTOMETRIC CURVE, EFFICIENCY & CONSTRUCTION FOR DIRECT COMPARISON WITH SPECIFIED FIXTURES.  
2.EXTRA MATERIALS: SEE SPECIFICATIONS.  
3.EMERGENCY BATTERY PACKS SHALL BE COMPLETE FACTORY INSTALLED WITH NI-CAD BATTERY, CHARGER INDICATING LIGHT, ELECTRONIC CIRCUITRY, 1400 LUMENS OUTPUT, 90 MINUTES DURATION & FIVE FULL YEARS WARRANTY.



REVISIONS	BY



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CAMERON COUNTY PARKS  
SANTA ROSA PARK IMPROVEMENTS PHASE II

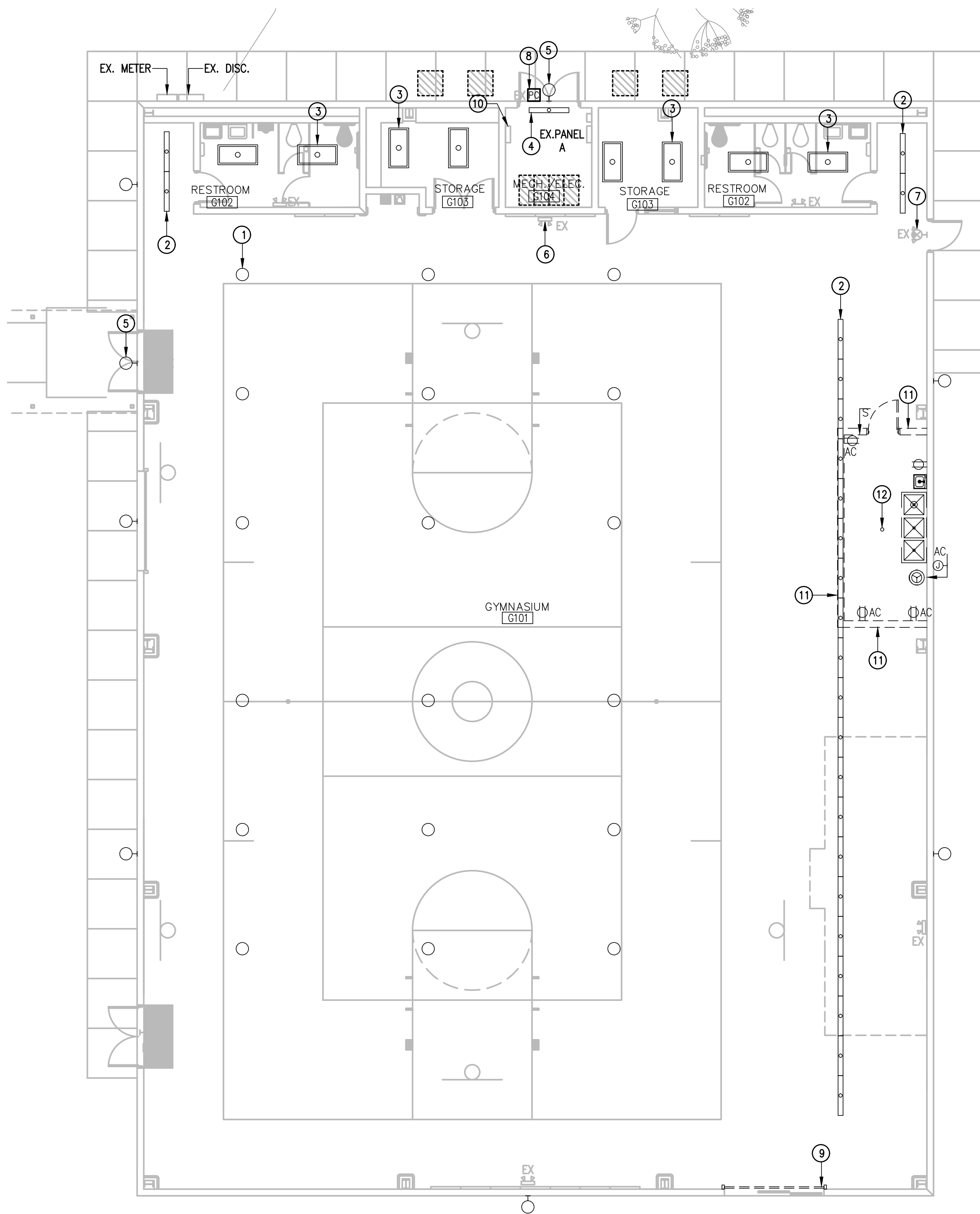


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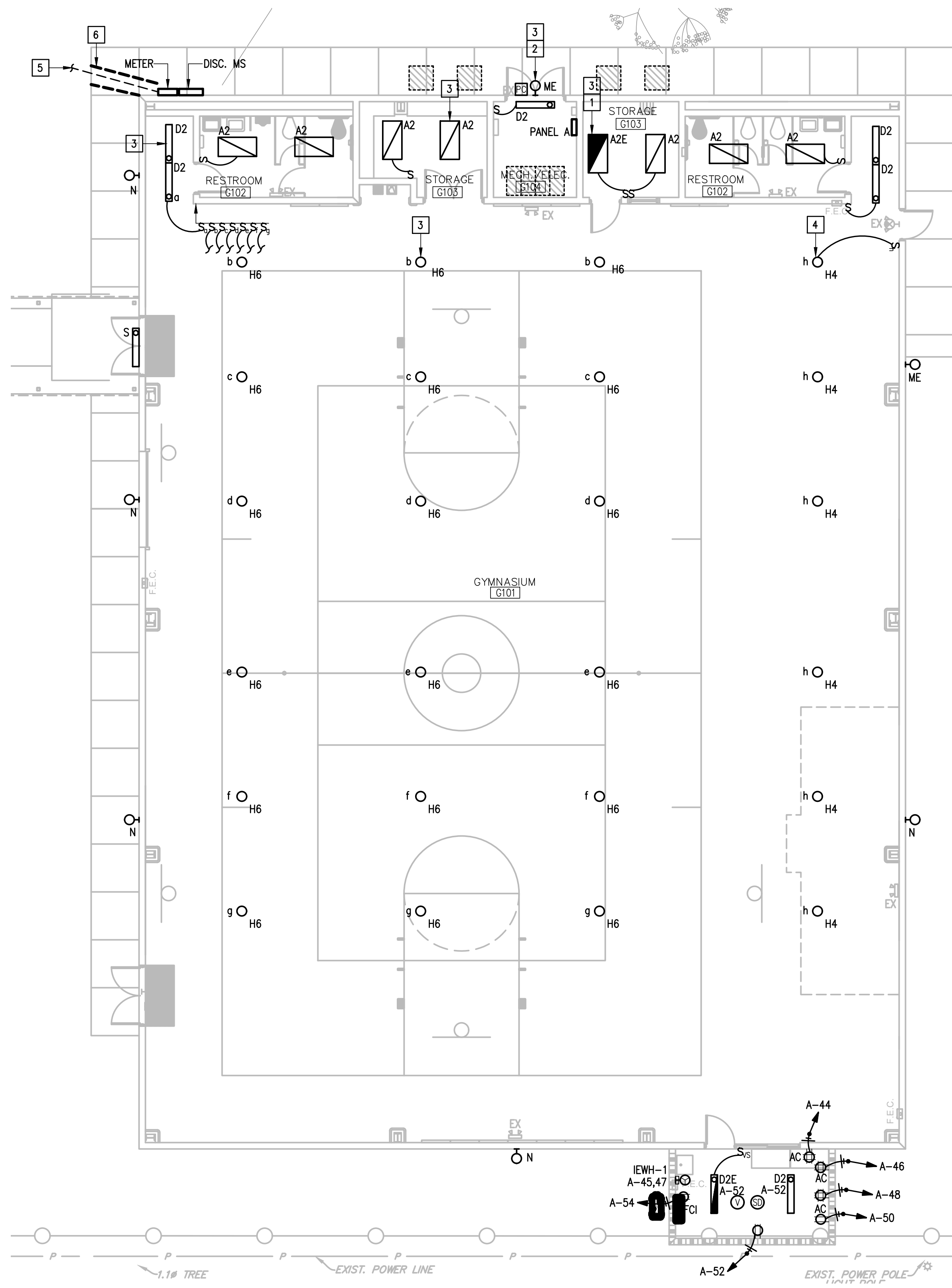


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01 GYMNASIUM DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



02 GYMNASIUM LIGHTING & ELECTRICAL PLAN  
SCALE: 1/8" = 1'-0"

## DEMOLITION GENERAL NOTES:

1. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PHASING REQUIREMENTS.
2. THE EXTENT OF DEMOLITION WORK IS INDICATED ON THE ARCHITECTURAL DRAWINGS AND BY THE REQUIREMENTS OF THIS SECTION. A VISIT TO THE SITE IS REQUIRED TO PROPERLY BID THE DEMOLITION WORK.
3. REMOVED MATERIALS SHALL BELONG TO OWNER. DELIVER THEM TO OWNERS DESIGNATED LOCATION. IF OWNER DOES NOT WANT THE REMOVED MATERIALS THEN REMOVE THEM FROM SITE & PROPERLY DISPOSE OF THEM.
4. IF REMOVAL OF EXISTING ELECTRICAL SYSTEMS RENDERS EXISTING ELECTRICAL SYSTEMS DOWNSTREAM TO REMAIN INOPERABLE, PROVIDE J-BOXES, CONDUIT WIRING AND SPLICES ABOVE ACCESSIBLE CEILINGS IN ORDER TO CONTINUE OPERATION.
5. REFER TO ARCHITECTURAL DEMOLITION DRAWINGS FOR WALL AND CEILINGS TO BE REMOVED.
6. ITEMS DESIGNATED WITH AN "EX" ARE EXISTING TO REMAIN AS IS.
7. PRIOR TO DEMOLITION, IN CEILINGS SCHEDULED TO BE REMOVED AND (OR) REPLACED FOR NEW WORK, PREPARE REFLECTED CEILING PLAN SKETCH SHOWING LOCATIONS OF ALL CEILING COMPONENTS AND DEVICES TO BE RE-USED INCLUDING BUT NOT LIMITED TO:
  - LIGHT FIXTURES
  - SPEAKERS
  - WIRELESS ACCESS POINTS
  - FIRE ALARM DEVICES
  - ETC.
 IF ANY OF THE ABOVE ITEMS ARE IN NON-WORKING CONDITION, SUBMIT A WRITTEN REPORT TO OWNER/ARCHITECT. TEMPORARY SUPPORT AND OR REMOVAL OF THESE SYSTEMS SHALL BE PROVIDED FOR NEW WORK.
8. PROVIDE BLANK COVERPLATE FOR UNUSED BACKBOXES.

## DEMOLITION KEYED NOTES:

- 1 DISCONNECT AND REMOVE EXISTING HIGH BAY LIGHT FIXTURE TO BE REPLACED - TYPICAL.
- 2 DISCONNECT AND REMOVE EXISTING SUSPENDED LINEAR LIGHT FIXTURE TO BE REPLACED - TYPICAL.
- 3 DISCONNECT AND REMOVE EXISTING TROFFER LIGHT FIXTURE TO BE REPLACED - TYPICAL.
- 4 DISCONNECT AND REMOVE EXISTING WALL MOUNTED LINEAR LIGHT FIXTURE TO BE REPLACED.
- 5 DISCONNECT AND REMOVE EXISTING WALL MOUNTED EXTERIOR LIGHT FIXTURE TO BE REPLACED - TYPICAL.
- 6 EXISTING EMERGENCY LIGHT FIXTURE TO REMAIN AS IS - TYPICAL.
- 7 EXISTING EXIST SIGN FIXTURE TO REMAIN AS IS - TYPICAL.
- 8 EXISTING PHOTOCELL TO REMAIN AS IS.
- 9 DISCONNECT AND REMOVE OVERHEAD DOOR CONTACT ALONG WITH RELATED RACEWAY, WIRING AND SUPPORT HARDWARE.
- 10 APPROXIMATE LOCATION OF EXISTING FIRE LITE ALARMS BY HONEYWELL MODEL "MS-9050UD" ADDRESSABLE FIRE ALARM CONTROL PANEL.
- 11 DISCONNECT AND REMOVE ANY AND ALL LIGHTING, ELECTRICAL AND SPECIAL SYSTEMS ALONG WITH RELATED RACEWAYS, WIRING AND SUPPORT HARDWARE LOCATED ON WALLS TO BE REMOVED - TYPICAL.
- 12 DISCONNECT AND REMOVE EXISTING CEILING MOUNTED LIGHT FOR REMOVAL.

## GENERAL NOTES:

1. LIGHTING BRANCH CIRCUIT HOMERUNS SHALL BE 3/4" - 2#12 & #12G. 20A/120V HOMERUNS EXCEEDING 200FT THE WIRE SIZE SHALL BE #10 & #8 FOR 275'.
2. INTERIOR LIGHTING CONTROLS ARE EXISTING TO REMAIN.
3. EXTERIOR LIGHTING CONTROLS SHALL BE BY EXISTING PHOTOCELL.
4. EACH 20A/1P BRANCH CIRCUIT SHALL HAVE A DEDICATED NEUTRAL.
5. IF NEW DEVICES ARE TO BE INSTALLED ON EXISTING WALLS; PROVIDE SURFACE MOUNTED METAL RACEWAYS AND BOXES (WIREMOLD).

## KEYED NOTES:

- 1 CONNECT EMERGENCY BATTERY PACK TO BE CHARGING AT ALL TIMES (UNSWITCHED). LIGHT FIXTURE SHALL BE OPERATED BY THE CORRESPONDING SWITCH - TYPICAL.
- 2 PROVIDE NEW UNSWITCHED HOT WIRE FROM EXISTING LIGHTING CIRCUIT FOR INTEGRAL EMERGENCY BATTERY.
- 3 CONNECT TO AN EXISTING ROOM CIRCUIT - TYPICAL.
- 4 PROVIDE NEW LIGHT FIXTURE TYPE "H4".
- 5 PROVIDE UNDERGROUND FEEDER.
- 6 BORE UNDER EXISTING SIDEWALK.

REVISIONS	BY

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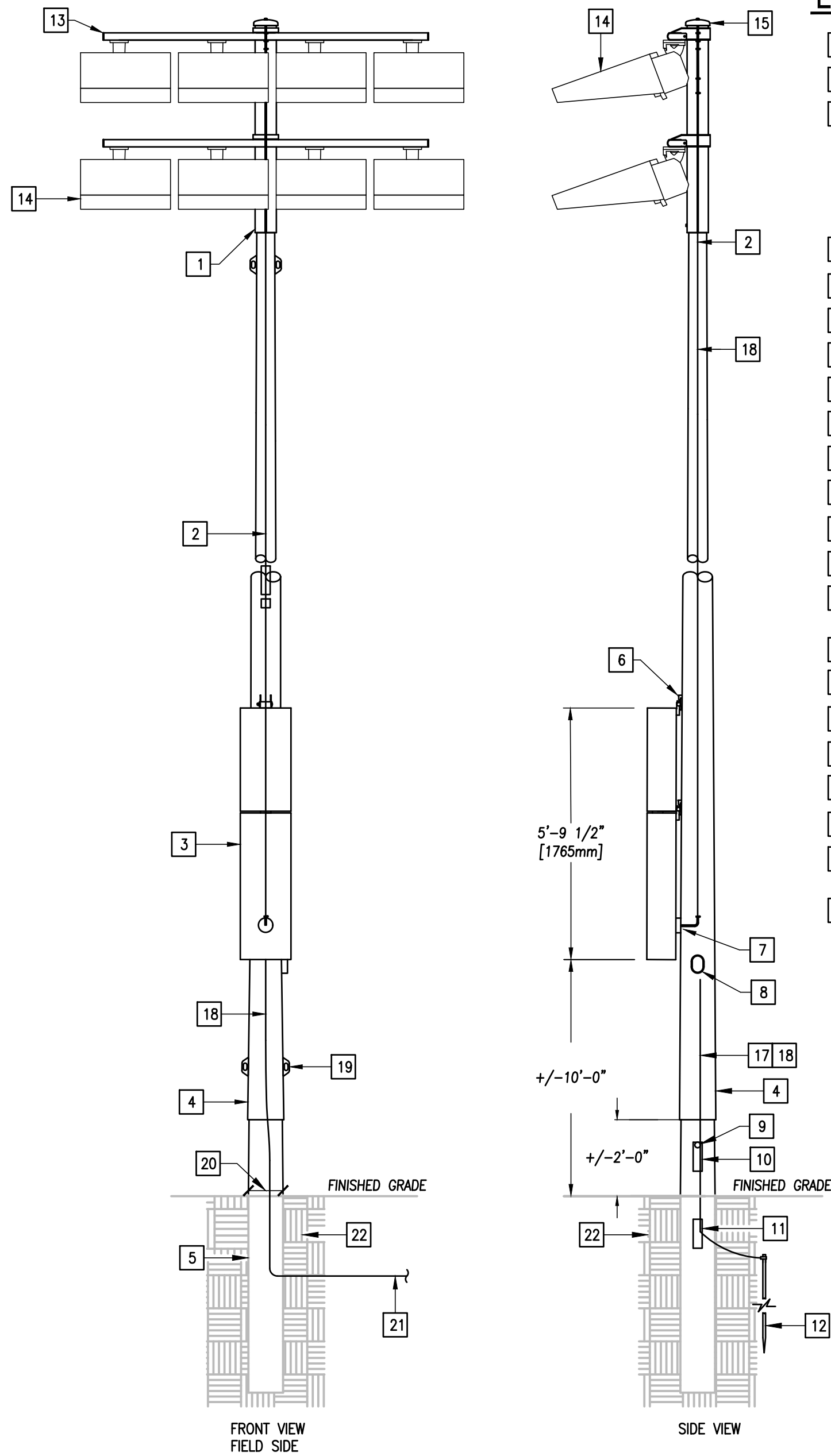
# CAMERON COUNTY PARKS SANTA ROSA PARK IMPROVEMENTS PHASE II



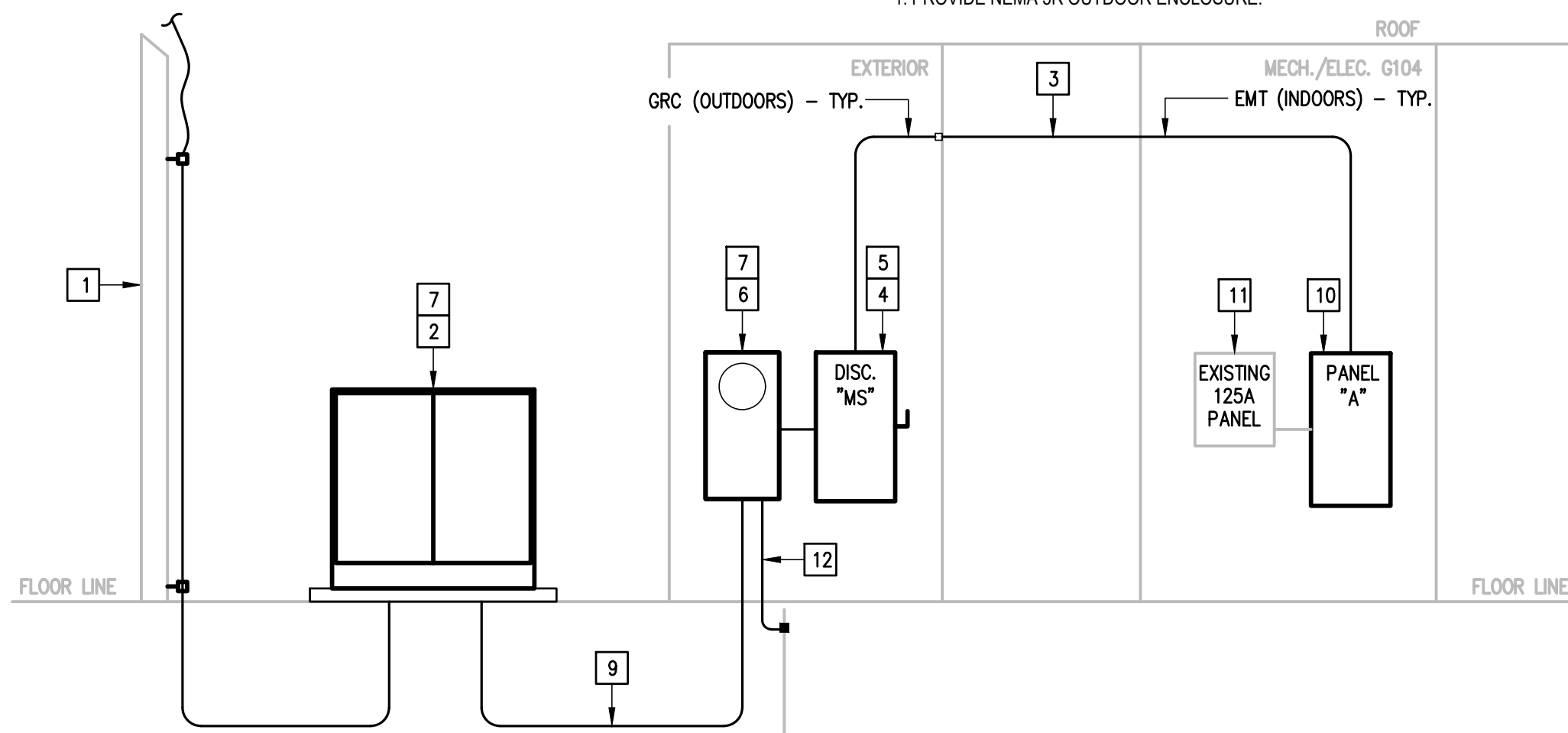
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01  
TYPICAL NEW SPORTS LIGHTING  
LIGHT POLE DETAIL  
SCALE : NOT TO SCALE



02  
YOUTH CENTER  
ELECTRICAL RISER DIAGRAM  
SCALE: NONE

## LIGHT POLE DETAIL KEYED NOTES:

- POLETOP LUMINAIRE ASSEMBLY.
- PROVIDE WIRE HARNESS.
- PROVIDE ELECTRICAL COMPONENTS ENCLOSURES
  - DRIVERS
  - CAPACITORS
  - SMART LAMP CONTROL
  - FEEDING
  - PRIMARY LANDING LUGS
  - ONE DISCONNECT PER CIRCUIT
  - PER LIGHT-STRUCTURE GREEN SYSTEM
  - GROUNDING LUG
- PROVIDE GALVANIZED STEEL POLE (1, 2, 3, OR 4 SECTIONS).
- PRECAST CONCRETE BASE (CENTRIFUGALLY SPUN PRESTRESSED).
- ATTACHMENT BRACKET.
- WIRE ACCESS HUB.
- HANDHOLE WITH GROUNDING LUG ACCESS.
- LIFTING BAR HOLE.
- ABOVE GROUND ACCESS HOLE.
- UNDERGROUND ACCESS HOLE.
- PROVIDE 3/4" X 10' GROUNDING ROD.
- PROVIDE HOT DIP GALVANIZED CROSS ARM WITH CONCEALED WIRING.
- EACH LIGHT FIXTURE SHALL BE INDIVIDUALLY FUSED. SEE POLE SCHEDULE FOR NUMBER OF LIGHT FIXTURES AT EACH POLE.
- REMOVABLE POLE CAP.
- PROVIDE THREE POINT BRACKET. SEE POLE SCHEDULE FOR MOUNTING HT.
- PROVIDE #2 GROUND WIRE.
- PROVIDE WIRING INSIDE POLE - TYP.
- JACKING EAR.
- POLE DIAM. AT BASE. COORDINATE W/ SUPPLIER.
- PROVIDE SPORTS LIGHTING ELECTRICAL RACEWAY TO POWER SOURCE SEE SHEET SITE PLAN.
- PROVIDE CONCRETE BACKFILL ALL AROUND POLE PER POLE MANUF. RECOMMENDATIONS.

NORTH FIELD			
ILLUMINATION SUMMARY			
MAINTAINED HORIZONTAL FOOTCANDLES			
	Infield	Outfield	
Guaranteed Average:	50	30	
Scan Average:	52.82	31.39	
Maximum:	64	47	
Minimum:	38	19	
Avg / Min:	1.40	1.64	
Guaranteed Max / Min:	2	2.5	
Max / Min:	1.70	2.48	
UG (adjacent pts):	1.41	1.72	
CU:	0.73		
No. of Points:	25	71	
LUMINAIRE INFORMATION			
Applied Circuits:	A		
No. of Luminaires:	15		
Total Load:	16.99 kW		

SOUTH FIELD			
ILLUMINATION SUMMARY			
MAINTAINED HORIZONTAL FOOTCANDLES			
	Infield	Outfield	
Guaranteed Average:	50	30	
Scan Average:	50.27	32.56	
Maximum:	64	47	
Minimum:	40	20	
Avg / Min:	1.25	1.67	
Guaranteed Max / Min:	2	2.5	
Max / Min:	1.60	2.42	
UG (adjacent pts):	1.26	1.58	
CU:	0.73		
No. of Points:	25	67	
LUMINAIRE INFORMATION			
Applied Circuits:	B		
No. of Luminaires:	15		
Total Load:	16.4 kW		

## EQUIPMENT CONNECTION SCHEDULE:

DESIGN	HP/KW	FLA	MCA	MOCP	VOLTAGE	DISCONNECT	BRANCH CIRCUIT (75°C COPPER)
IEWH-1	13 KW	62.5	-	80	208V/1PHASE	5) CIRCUIT BREAKER.	1.25" - 2#4 & #8G

1) PROVIDE LOCK SAFE CIRCUIT BREAKER PER NEC 110.25.

## FEEDER SCHEDULE:

FEEDER AMPS	CONDUIT AND FEEDER	FEEDING THESE DEVICES
400	4" - 4#600KCMIL	METER
400	4" - 4#600KCMIL & #3G	A, DISC. MS

SIZING METHOD: COPPER 75°C

## SPORTS LIGHTING - POLE SCHEDULE

DESIG	POLE HT.	MOUNTING HT.	NO. OF FIXTURES "SL1"	NO. OF FIXTURES "SL2"	NO. OF FIXTURES "SL3"	NO. OF DRIVERS	NOTES	CONTACTOR I.D. /AMPS/ZONE
SOFTBALL FIELD								
A1	60 FT	60 FT	2	1	-	3	1	C1/30/1
A2	60 FT	60 FT	2	1	-	3	1	C2/30/1
		60 FT	-	1	-	1	1	C9/30/3
A3	60 FT	60 FT	2	1	-	3	1	C5/30/2
A4	60 FT	60 FT	2	1	-	3	1	C6/30/2
B1	70 FT	70 FT	5	-	-	5	1	C3/30/1
B2	70 FT	70 FT	4	-	-	4	1	C4/30/1
		70 FT	3	-	1	4	1	C7/30/2
B4	70 FT	70 FT	5	-	-	5	1	C8/30/2
B5	70 FT	70 FT	5	-	-	5	2	C10/30/4

### NOTES:

- EXISTING SPORTS LIGHTING POLE.
- NEW SPORTS LIGHTING POLE.

## POLE CONNECTION SCHEDULE:

POLE ID	FLA	OCF	VOLTAGE/PHASE	APPROX. DIST. (FT)	%VD	BRANCH CIRCUIT
B5	10.5	20	480V/3PH	450	2.15	1" - 3#10 & #10G

### GENERAL NOTES:

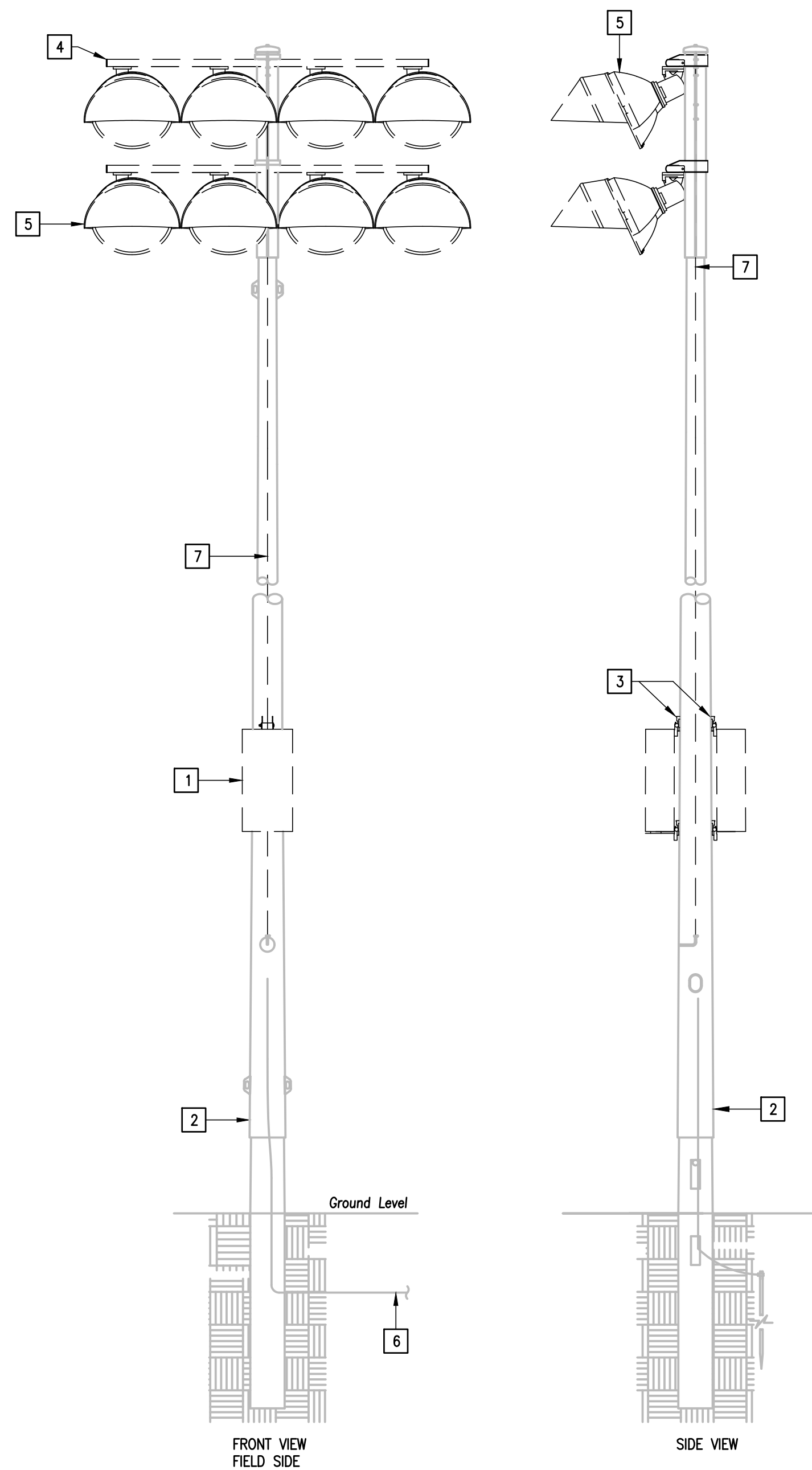
- FEEDER DISTANCES ARE FOR VOLTAGE DROP CALCULATIONS ONLY, NOT FOR BIDDING PURPOSES.
- DON'T SPLICE WIRING BELOW GRADE. PROVIDE ABOVE GRADE CAST ALUMINUM BOXES AT POLE BASE.
- PROVIDE PULLBOXES AS REQUIRED, SIZE PER NEC. PROVIDE WHERE REQUIRED FOR PULLING NEEDS.

LIGHT FIXTURE SCHEDULE			Source	Wattage	Lumens
Type	Model				
SL1	MUSCO: TLC-LED-1200		LED 5700K - 75 CRI	1170W	136,000
SL2	MUSCO: TLC-LED-900		LED 5700K - 75 CRI	890W	89,600
SL3	MUSCO: TLC-LED-600		LED 5700K - 75 CRI	580W	65,600

## A

ROOM MECH./ELEC. G104			VOLTS 208Y/120V 3P 4W			A/C 14,000					
MOUNTING SURFACE			BUS AMPS 400			MAIN BKR MLO					
FED FROM UTILITY			NEUTRAL 100%			LUGS STANDARD					
NOTE PROVIDE A TYPE WRITTEN AS BUILT DIRECTORY THAT INCLUDES ROOM NUMBERS.											
CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA			CKT #	CKT BKR	CIRCUIT DESCRIPTION	LOAD KVA		
			A	B	C				A	B	C
1	20/2	EXISTING LOAD	0			2	20/1	EXISTING LOAD	0		
3				0		4	20/1	EXISTING LOAD		0	
5	60/2	EXISTING LOAD			0	6	20/1	EXISTING LOAD			0
7			0			8	20/1	EXISTING LOAD	0		
9	60/2	EXISTING LOAD		0		10	20/1	EXISTING LOAD		0	
11					0	12	20/1	EXISTING LOAD			0
13	20/2	EXISTING LOAD	0			14	20/1	EXISTING LOAD	0		
15				0		16	20/1	EXISTING LOAD		0	
17	60/2	EXISTING LOAD			0	18	25/1	EXISTING LOAD			0
19			0			20	20/1	EXISTING LOAD	0		
21	60/2	EXISTING LOAD		0		22	20/1	EXISTING LOAD		0	
23					0	24	20/1	EXISTING LOAD			0
25	60/2	EXISTING LOAD	0			26	20/1	EXISTING LOAD	0		
27				0		28	20/1	EXISTING LOAD		0	
29	60/2	EXISTING LOAD			0	30	20/1	EXISTING LOAD			0
31			0			32	20/1	EXISTING LOAD	0		
33	20/1	EXISTING LOAD		0		34	20/1	EXISTING LOAD		0	
35	20/1	EXISTING LOAD			0	36	20/1	EXISTING LOAD			0
37	20/1	EXISTING LOAD	0			38	20/1	EXISTING LOAD	0		
39	20/1	EXISTING LOAD		0		40	20/1	EXISTING LOAD		0	
41	100/2	EXISTING LOAD			0	42	20/1	EXISTING LOAD			0
43			0			44	20/1	RECEPT.	0.36		
45	80/2	IEWH-1		6.5		46	20/1	RECEPT.		0.36	
47					6.5	48	20/1	RECEPT.			0.36
49	20/1	SPACE	0			50	20/1	RECEPT.	0.18		
51	20/1	SPACE		0		52	20/1	LIGHTING, RECEPT.		0.26	
53	20/1	SPACE			0	54	20/1	RECEPT.			0.18
						TOTAL CONNECTED KVA BY PHASE			0.54	7.12	7.04



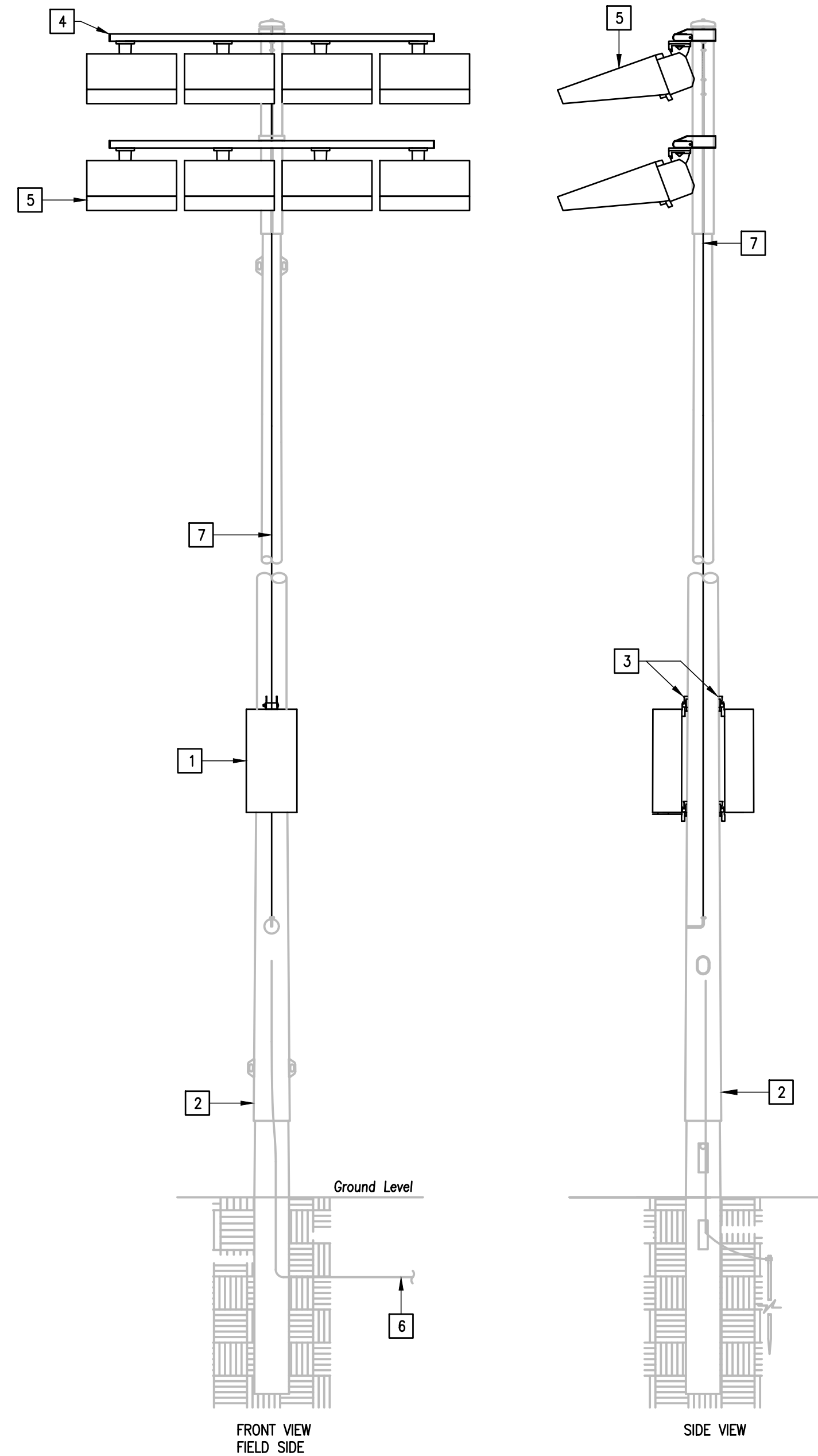


#### LIGHT POLE DEMOLITION DETAIL NOTES:

- 1 ELECTRICAL COMPONENTS ENCLOSURES TO BE REMOVED FOR REPLACEMENT.
- 2 EXISTING GALVANIZED STEEL POLE TO REMAIN.
- 3 ATTACHMENT BRACKET TO BE REMOVED.
- 4 REMOVE EXISTING CROSS ARM.
- 5 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES FOR REPLACEMENT.
- 6 EXISTING SPORTS LIGHTING ELECTRICAL BRANCH CIRCUITS TO REMAIN.
- 7 REMOVE EXISTING WIRE HARNESS FOR REPLACEMENT.

01 TYPICAL SPORTS LIGHTING  
LIGHT POLE DEMOLITION DETAIL

SCALE : NOT TO SCALE



#### LIGHT POLE MODIFICATIONS DETAIL NOTES:

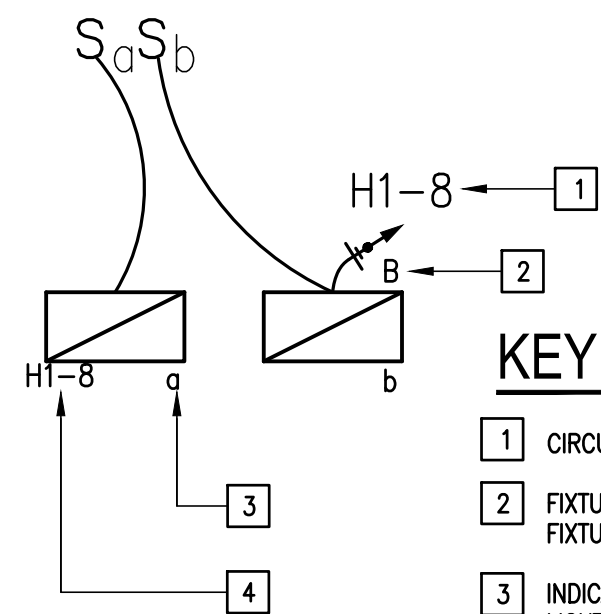
- 1 PROVIDE NEW ELECTRICAL COMPONENTS ENCLOSURES.
- 2 EXISTING GALVANIZED STEEL POLE.
- 3 PROVIDE NEW ATTACHMENT BRACKET.
- 4 PROVIDE NEW CROSS ARM.
- 5 PROVIDE NEW LIGHT FIXTURES. EACH LIGHT FIXTURE SHALL BE INDIVIDUALLY FUSED. SEE POLE SCHEDULE FOR NUMBER OF LIGHT FIXTURES AT EACH POLE.
- 6 EXISTING SPORTS LIGHTING ELECTRICAL BRANCH CIRCUITS.
- 7 PROVIDE NEW WIRE HARNESS.

02 TYPICAL SPORTS LIGHTING  
LIGHT POLE MODIFICATIONS DETAIL

SCALE : NOT TO SCALE

#### NOTES:

1. INSTALL ALL ROUGH-INS IN STRICT ACCORDANCE WITH MANUFACTURER PUBLISHED TEMPLATES. PROVIDE MOCK-UP FOR OWNER REPRESENTATIVE APPROVAL.
2. TEMPLATE TO BE PROVIDED BY PROJECTOR MANUFACTURER/OWNER. COORDINATE WITH OWNER PRIOR TO ANY ROUGH-IN.
3. ROUGH-INS ARE LOCATED ON LEFT OR RIGHT HAND SIDE OF MARKER BOARD. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
4. PROVIDE A DATA CONNECTOR AND CAT6 WIRING AT PROJECTOR MOUNT.



#### KEYED NOTES:

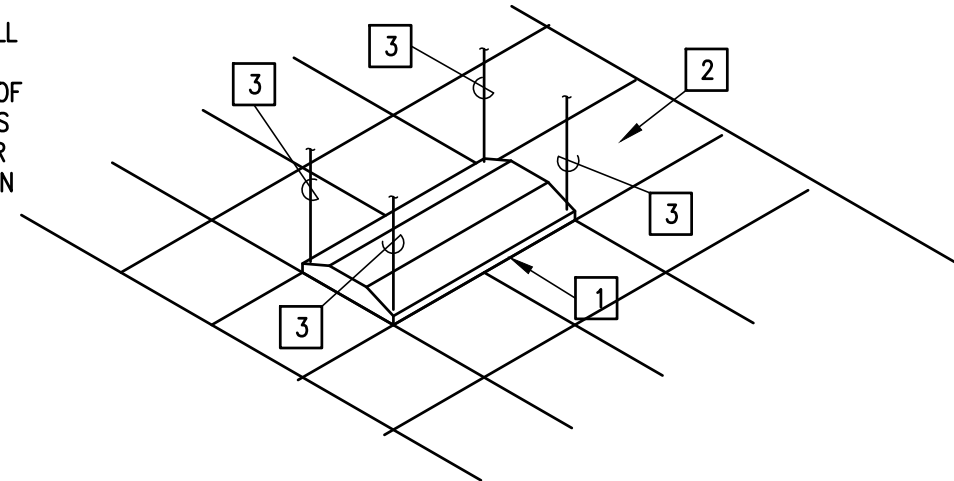
- 1 CIRCUIT HOMERUN
- 2 FIXTURE TYPE - REFER TO LIGHT FIXTURE SCHEDULE
- 3 INDICATES SWITCH CONTROLLING LIGHT FIXTURE.
- 4 INDICATES BRANCH CIRCUIT LIGHT FIXTURE IS CONNECTED TO

03 LIGHTING LEGEND DETAIL

SCALE : NOT TO SCALE

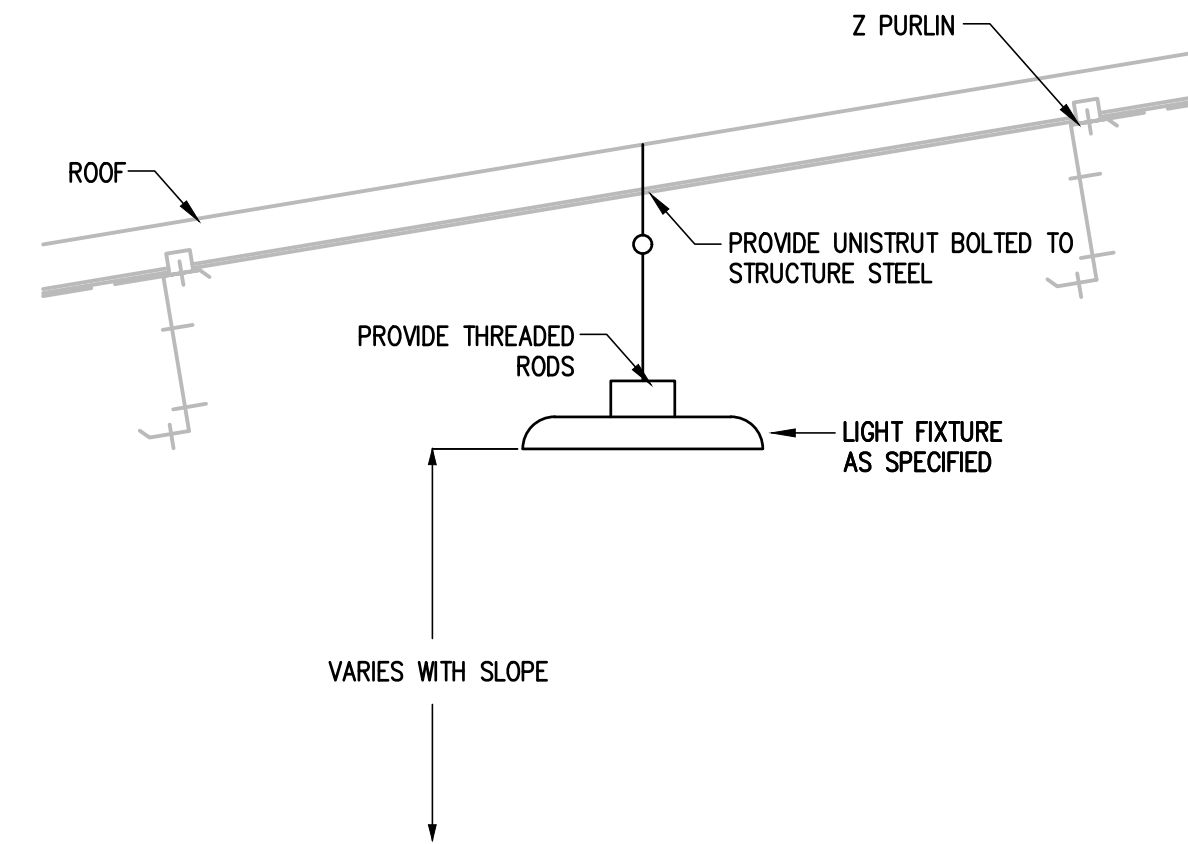
#### KEYED NOTES:

- 1 PROVIDE 2' x 4' LAY-IN LED FIXTURE
- 2 SUSPENDED CEILING
- 3 PROVIDE TIE WIRE, CONNECT TO ALL FOUR CORNERS OF FIXTURE TO STRUCTURE ABOVE, INDEPENDENT OF CEILING SUPPORTS. ALL TIE WIRES TO BE PAINTED ORANGE OR OTHER EFFECTIVE MEANS OF IDENTIFICATION SO OTHER TRADES CANT BE ATTACHED TO IT.



04 TYPICAL  
LAY-IN FIXTURE SUPPORT

SCALE : NOT TO SCALE



05 GYMNASIUM LIGHT  
FIXTURE MOUNTING DETAIL

SCALE : NOT TO SCALE



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## CAMERON COUNTY PARKS SANTA ROSA PARK IMPROVEMENTS PHASE II



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Architects-Planners  
Interior Designers  
Date: FEBRUARY 01, 2022  
Scale: As Noted  
Project Architect: Roan G. Gomez, AIA  
Drawn By: ETHOS  
Job No. 22x114  
Sheet:

E5.1

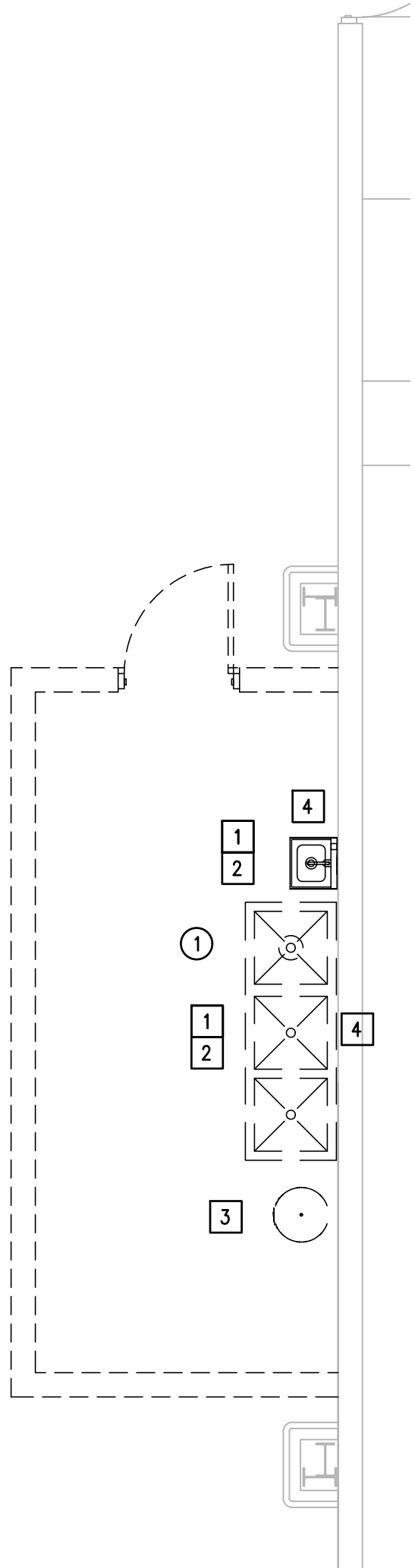






01 CONCESSION DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



02 EXISTING CONDITIONS

SCALE: NOT TO SCALE



EXISTING THREE  
COMPARTMENT  
SINK TO BE  
REMOVED.

03 EXISTING CONDITIONS

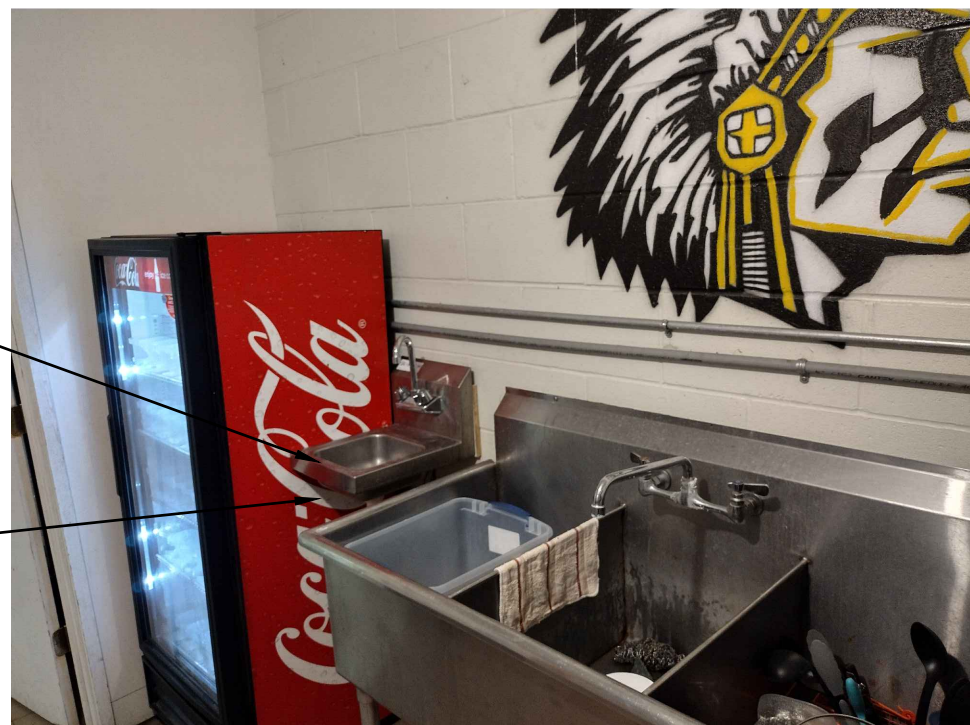
SCALE: NOT TO SCALE



EXISTING  
ELECTRIC WATER  
HEATER TO BE  
REMOVED.

04 EXISTING CONDITIONS

SCALE: NOT TO SCALE



EXISTING HAND  
SINK TO BE  
REMOVED.

DEMOLITION GENERAL NOTES:

- ALL DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING THOSE PUBLISHED BY OSHA.
- THE EXTENT OF DEMOLITION WORK IS INDICATED ON THE ARCHITECTURAL DRAWINGS AND BY THE REQUIREMENTS OF THIS SECTION. A VISIT TO THE SITE IS REQUIRED TO PROPERLY BID THE DEMOLITION WORK.
- PROVIDE ALL DEMOLITION WORK REQUIRED FOR THE REMOVAL OF EXISTING NON REUSED PLUMBING EQUIPMENT AND ASSOCIATED DEVICES. PROVIDE A COMPLETE AND OPERABLE SYSTEM UPON COMPLETION OF THE PROJECT.
- COORDINATE DEMOLITION OF DIVISION 22 SYSTEM AS REQUIRED WITH ALL OTHER TRADES.
- ALL EXISTING EQUIPMENT REMOVED DURING CONSTRUCTION, THAT IS NOT TO BE REUSED, SHALL BE REMOVED FROM THE JOB SITE AND PROPERLY RETURNED TO THE OWNER, IF DESIRED BY OWNER.
- IT IS INTENDED THAT DEMOLITION WORK LEAVE THE ENTIRE AREA FREE OF ABOVE-GRADE ITEMS, INCLUDING PIPIN, CONCRETE PADS, STRUCTURAL SUPPORTS AND MISCELLANEOUS ITEMS. ALL INDICATED TO BE REUSED.
- OWNER MAY WISH TO KEEP DEMOLISHE EQUIPMENT AND MATERIALS. COORDINATE WITH OWNER, AND DISPOSE OF EQUIPMENT AND MATERIALS THAT OWNER DOES NOT REMAIN.
- PREPARE AREA FOR INSTALLATION OFF NEW PLUMBING SYSTEM. REFER TO NEW PLANS AND COORDINATE WITH DEMOLITION WORK.
- ALL PLUMBING FIXTURES WITH ASSOCIATED PLUMBING PIPING SYSTEM TO BE REMOVED.

GENERAL CONST. KEYED NOTES:

- 1 REFER TO ARCHITECTURAL PLANS FOR REMOVAL AND REPLACEMENT OF ARCHITECTURAL FEATURES.

PLUMBING DEMO KEYED NOTES:

- 1 DEMOLISH EXISTING HOT AND COLD WATER PIPES SERVING CONCESSION BUILDING FIXTURES, CAP AND ABANDON AT PERIMETER WALL.
- 2 REMOVE EXISTING PLUMBING FIXTURES AT THIS APPROXIMATE LOCATION.
- 3 REMOVE EXISTING ELECTRIC WATER HEATER. DEMOLISH HOT AND COLD WATER PIPING SERVING WATER HEATER.
- 4 CAP AND ABANDON EXISTING SANITARY SEWER PIPE.

PLUMBING LEGEND

WALL TO BE DEMOLISHED AND REPAIRED



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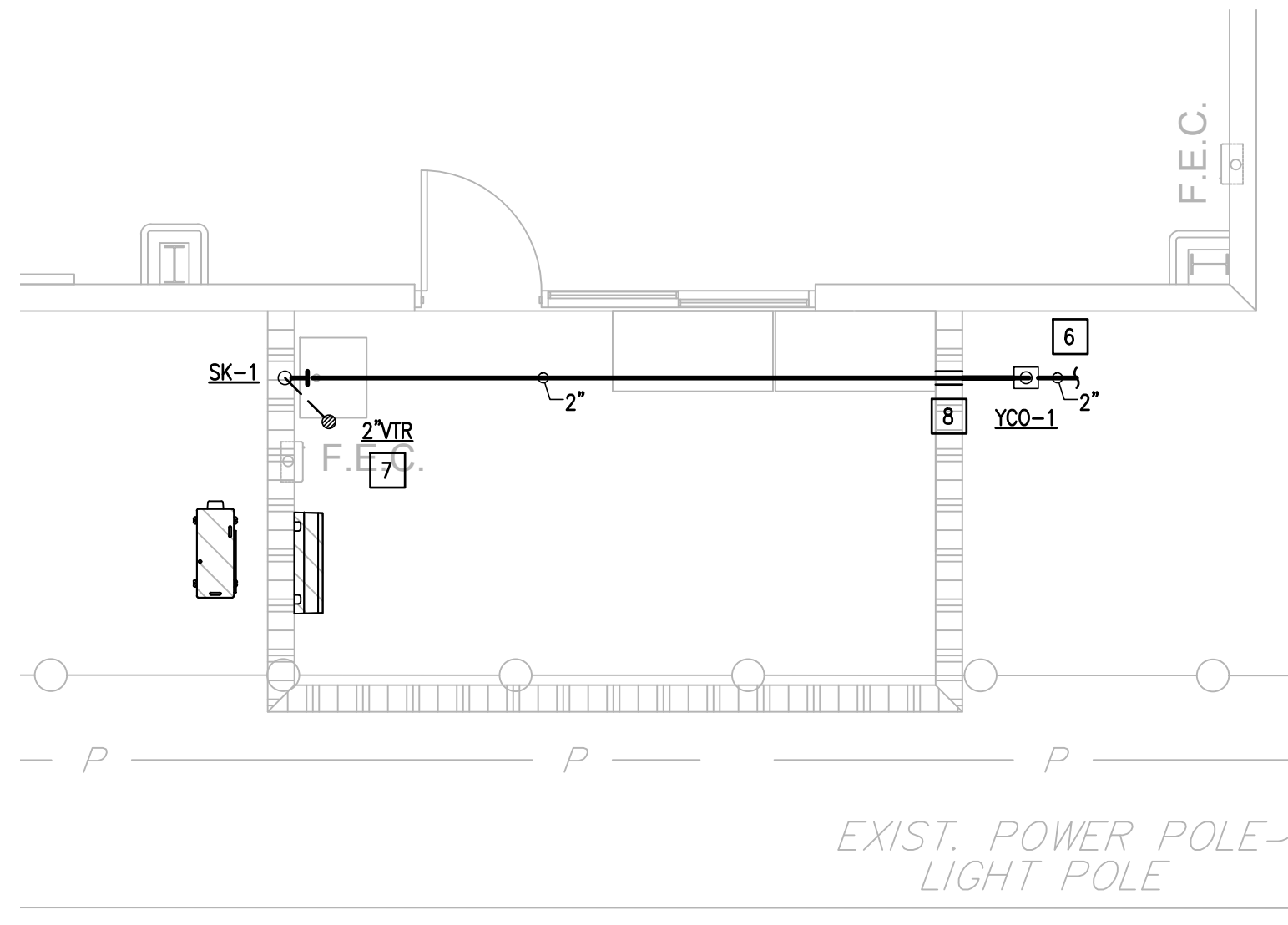
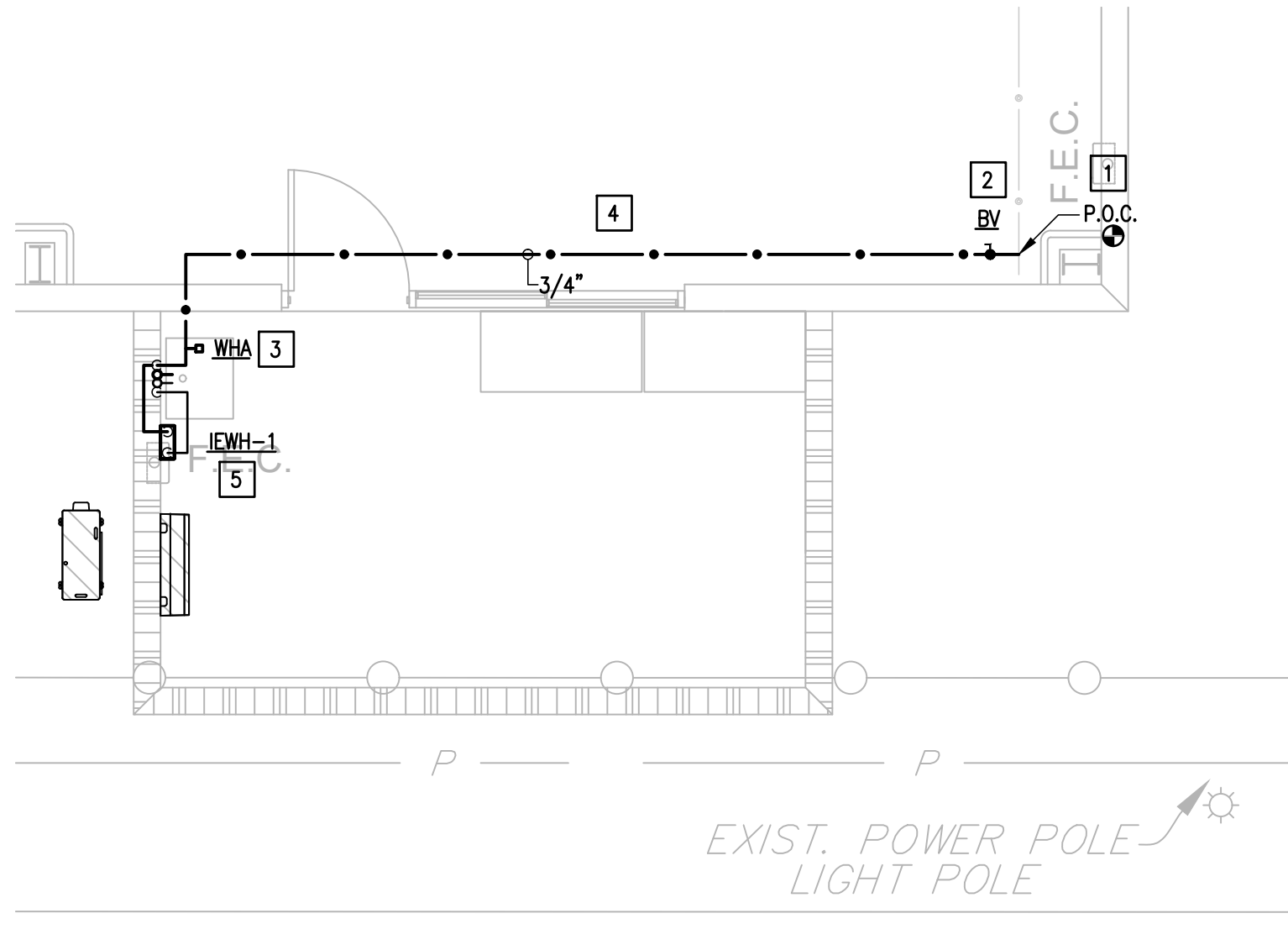


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Project Architect: Roan G. Gomez, AIA  
Drawn By: MOV  
Job No. 22v114  
Sheet:

DP2.1





PLUMBING KEYED NOTES:

- 1 CONECT NEW 3/4" COLD WATER PIPE TO SERVE NEW SINK AT THIS APROXIMATE POINT.
- 2 PROVIDE BRONZE ISOLATION BALL VALVE ABOVE CEILING OR BEHIND WALL. PROVIDE 12"x12" ACCESS PANEL WHERE INSTALLED IN AN INACCESSIBLE AREA. ACCESS PANEL EQUAL TO ACUDOR MODEL UF5000 WITH CYLINDER LOCK AND KEY AND PAINT TO MATCH THE WALL/CEILING. PROVIDE VALVE IDENTIFICATION TAGS AS PER SPECIFICATIONS. (TYPICAL)
- 3 PROVIDE BELLOWS TYPE WATER HAMMER ARRESTOR (WHA), MIFAB OR APPROVED EQUAL INDICATED MODEL (A,B,C,D,E,F) AS PER MIFAB SIZING CHART. PROVIDE 12"x12" ACCESS PANEL WHERE INSTALLED IN AN INACCESSIBLE AREA. ACCESS PANEL EQUAL TO ACUDOR MODEL UF5000 WITH CYLINDER LOCK AND KEY AND PAINT TO MATCH THE WALL/CEILING. (TYPICAL)
- 4 PROVIDE PIPING SUPPORT AS PER SPECS AND DETAIL. SEE ASSOCIATED DETAIL ON DETAIL SHEET - TYPICAL.
- 5 PROVIDE INSTANTANEOUS ELECTRIC WATER HEATER (IEWH-1) AS SCHEDULED.
- 6 PROVIDE NEW 2" SANITARY SEWER LINE. PROVIDE ONE WAY YARD CLEANOUT. SEE CIVL DRAWINGS FOR CONNECTION AND CONTINUATION. REFER TO MEP SITE PLAN FOR LOCATION.
- 7 PROVIDE 2" VENT UP THROUGH ROOF. (VTR)
- 8 SLEEVE ALL GRADES BEAMS, FLOOR SLABS AND MASONRY WALL PENETRATIONS PER DETAIL WHETHER SPECIFICALLY INDICATED ON PLANS OR NOT.

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PLUMBING FIXTURE SCHEDULE

Project: Santa Rosa Park Improvements Phase II								
MARK	MANUFACTURER & MODEL NUMBER	DESCRIPTION	WASTE	VENT	CW	HW	NOTES	REMARKS
SK-1	ELKAY SS8124 ELKAY #LK940GN05T4H 0.5 GPM AERATOR LK335 DRAIN TRUEBRO KIT MIXING VALVE LEONARD #270-LF-BRKT	27" X 27-1/2" X 14" SINGLE COMPARTMENT SCULLERY SINK. 14 GAUGE TYPE 304 STAINLESS STEEL WITH A BUFFED SATIN FINISH. SINK SUPPORTED BY (4) 16 GAUGE STAINLESS STEEL, 1-5/8" TUBULAR LEGS WITH BULLET SHAPED FEET ADJUSTABLE UP TO 1", BACK MOUNTED INSTALLATION WITH 4" ON CENTER HOLES, REAR CENTER DRAIN. TWO HANDLE BACK MOUNT GOOSE NECK FAUCET. 3.5" DRAIN WITH CUP STRAINER. 1-1/2" 17 GAUGE CHROME PLATED TAILPIECE AND P-TRAP WITH CLEANOUT AND CHROME PLATED SUPPLY STOPS WITH STAINLESS STEEL FLEXIBLE CONNECTORS. POINT-OF-USE THERMOSTATIC VALVE. SET HOT WATER TEMPERATURE AT NO MORE THAN 105 DEGREES FAHRENHEIT.	2"	2"	1/2"	1/2"	1,2	SEE ARCHITECTURAL

NOTES:

1. PROVIDE TRUEBRO LAVATORY GUARD MODEL #103 E-Z COLOR WHITE. COVER SHALL BE SECURED WITH SNAP-SLIP FLUSH REUSABLE FASTENERS.
2. PROVIDE OFFSET TAILPIECE FOR ALL ADA SINKS.

INSTANTANEOUS ELECTRIC WATER HEATER SCHEDULE

Project: Santa Rosa Park Improvements Phase II								
MARK	LOCATION	MINIMUM FLOW RATE	DEGREE RISE AT FLOW RATE	ELECTRICAL V/PH	KW	DIMENSIONS LENGTH X WIDTH	MANUFACTURER & MODEL NUMBER	NOTES
IEWH-1	NEW CONCESSION	0.35	73°	208V / 1PH	13	10-5/8"x4-1/2"	CHRONOMITE R-63L	1,2

NOTES:

1. MANUFACTURER & MODEL NUMBER ARE "OR APPROVED EQUAL".
2. SET TEMPERATURE AT 110 DEGREE.

PLUMBING SYMBOLS LEGEND

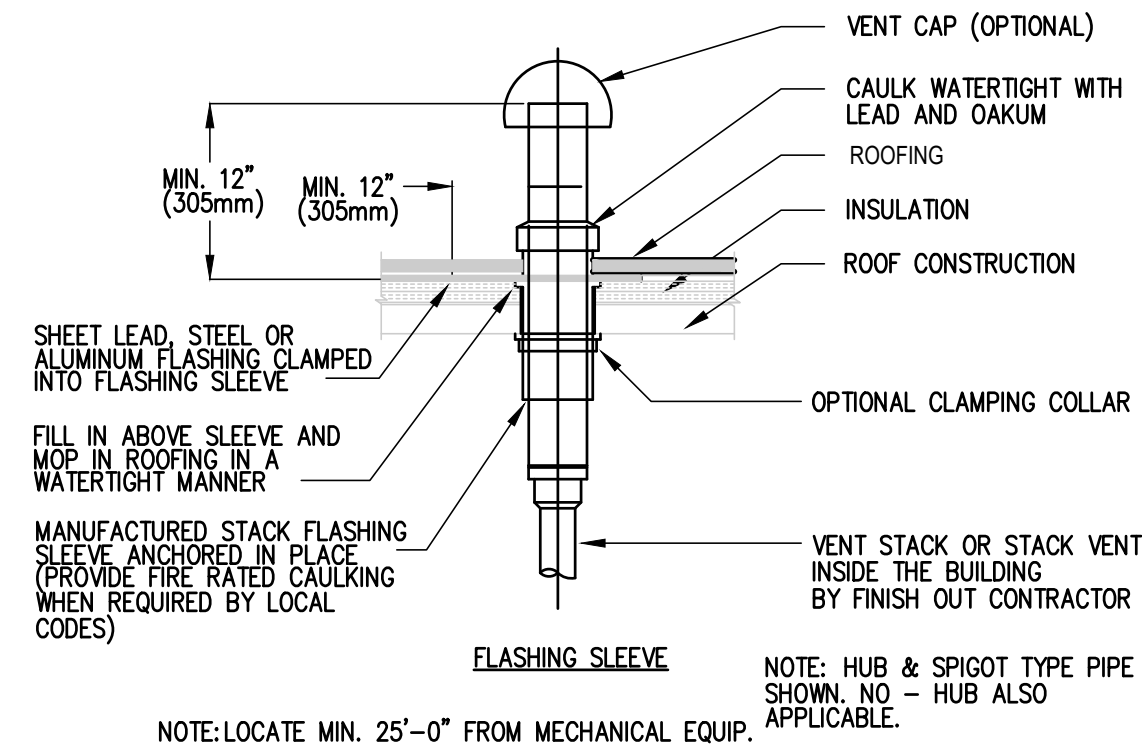
	COLD WATER SUPPLY		WALL CLEANOUT
	HOT WATER SUPPLY		*GATE VALVE (GV)
	TO BE DEMOLISHED		*BALL VALVE (BV)
	SOIL & WASTE LINE - ENLARGED PLANS		VALVE IN RISER TYPE AS NOTED
	VENT LINE - ENLARGED PLANS	WC	WATER CLOSET
	EXISTING COLD WATER LINE	UR	URINAL
	ACID VENT LINE - ENLARGED PLANS	L	LAVATORY
	FIRE SPRINKLER LINE	SK	SINK
	FLOOR CLEANOUT	EDF	ELECTRIC DRINKING FOUNTAIN
	FLOOR CLEANOUT - 2 WAY	MSB	MOP SERVICE BASIN
	FLOOR DRAIN (FD) WITH DEEP SEAL TRAP	EESHR	EMERGENCY EYE/SHOWER
	HUB DRAIN WITH DEEP SEAL TRAP	TP	TRAP PRIMER
	FLOOR SINK	EWB	ELECTRIC WATER HEATER
	YARD CLEANOUT	VTR	VENT THRU ROOF
	YARD CLEANOUT - 2 WAY	CO	CLEANOUT
	WALL HYDRANT	A.F.F.	ABOVE FINISH FLOOR
	TRAP PRIMER	ADT	ACID DILUTION TANK
	*WATER HAMMER ARRESTOR (WHA)	GT	GREASE TRAP

\* PROVIDE 12"x12" ACCESS PANEL WHERE INSTALLED IN AN INACCESSIBLE AREA.

GENERAL NOTES:

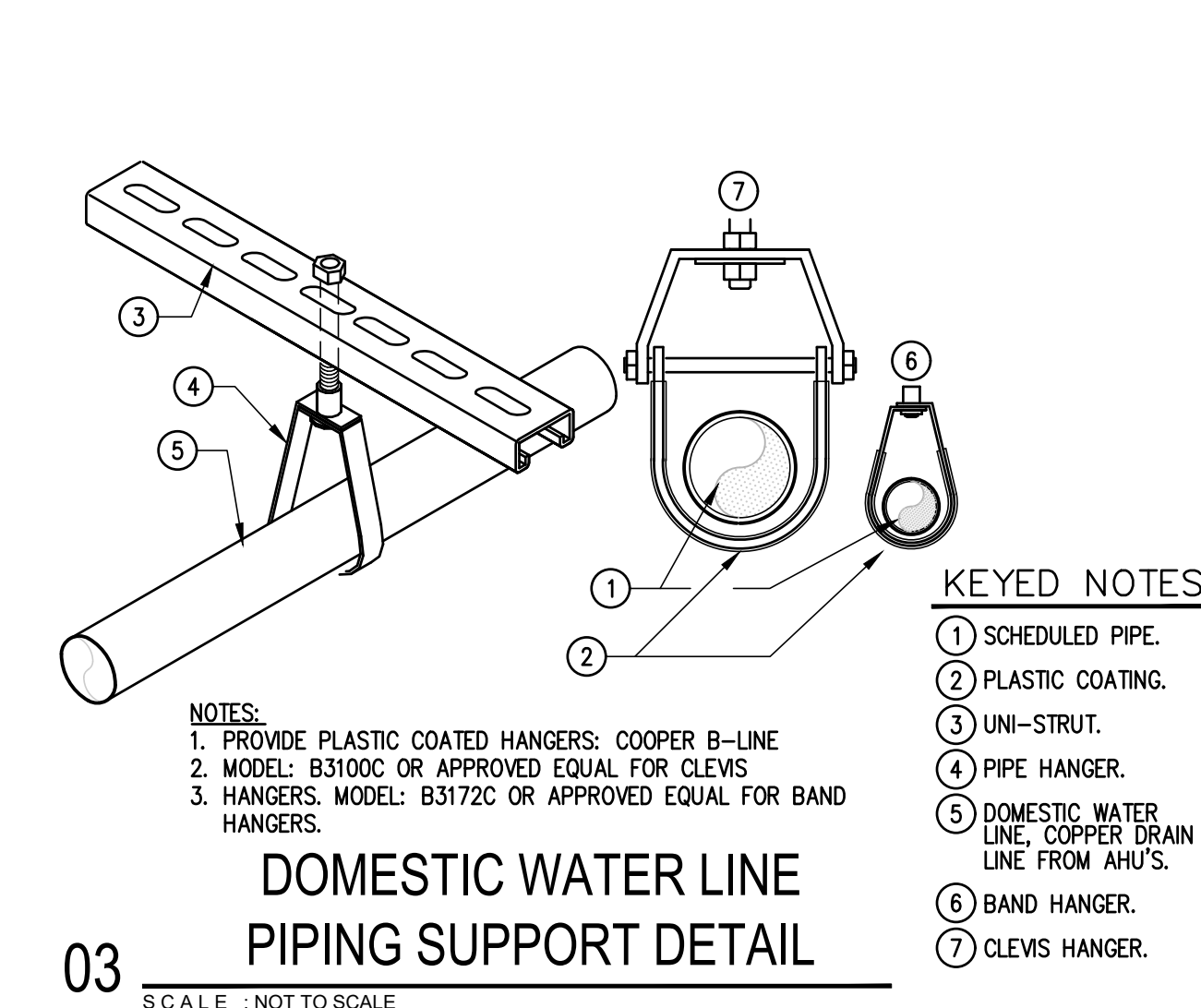
(APPLY TO ALL PLUMBING SHEETS)

1. ALL PLUMBING WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AS ADAPTED AND AMENDED BY THE INSPECTING AUTHORITIES.
2. DRAWING IS DIAGRAMMATIC ONLY. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS OF PIPING, DEVICES AND EQUIPMENT WITH BUILDING ELEMENTS AND THE WORK OF OTHER TRADES.
3. ALL PLUMBING WORK SHALL BE INSTALLED SO AS TO AVOID CONFLICT WITH THE WORK OF OTHER TRADES. COORDINATE WITH MECHANICAL, ELECTRICAL AND STRUCTURAL FOR PROPER CLEARANCES.
4. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR PHASING AND SEQUENCE OF CONSTRUCTION WORK.
5. COORDINATE WORK AMONG ALL DISCIPLINES. IT IS NOT THE INTENT OF THESE DOCUMENTS TO DICTATE WHO MUST DO THE WORK. ALL WORK SHOWN IS THE RESPONSIBILITY OF THE PRIME CONTRACTOR.
6. SLEEVE ALL OUTSIDE WALLS, FOUNDATION GRADE BEAMS, INTERIOR WALL PENETRATIONS, AND FIRE SEAL ALL PENETRATION THROUGH FIRE WALLS AND FLOORS WHETHER SHOWN ON PLANS OR NOT.
7. PROVIDE MINIMUM 15' OF SEPARATION BETWEEN HVAC INTAKES AND VENT THRU ROOFS.
8. RECORD INVERT ELEVATIONS OF ALL YARD CLEAN OUT (YCO) ON "AS-BUILT" DRAWINGS.
9. PROVIDE SHUT-OFF VALVES (STOPS) ON ALL ROUGH-INS TO FIXTURES AND EQUIPMENTS.
10. PROVIDE WATER HAMMER ARRESTORS AS INDICATED ON THE DRAWINGS. AIR CHAMBERS NOT AN APPROVED SUBSTITUTE.
11. PROVIDE ANY BACKFLOW PREVENTION DEVICE REQUIRED BY CODE OR LOCAL AUTHORITIES. CONTRACTOR SHALL VERIFY THIS WITH CITY AND LOCAL AGENCIES AND INCLUDE COST IN BID. CONTRACTOR TO HAVE BACK FLOWS CERTIFIED.
12. REFER TO PLUMBING FIXTURE ROUGH-IN SCHEDULE FOR INDIVIDUAL PIPE CONNECTIONS TO FIXTURES.
13. PRIOR TO POURING FOUNDATION AND ERECTING WALLS, COORDINATE INSTALLATION OF PLUMBING FIXTURE CARRIERS WITH GENERAL CONTRACTOR.
14. STUDS AT DRY WALLS SHALL NOT BE CUT THRU HORIZONTAL DIRECTION. COORDINATE WITH DRY WALL CONTRACTOR.
15. CONTRACTOR SHALL NOT CUT ANY EXTERIOR WALL STUD.



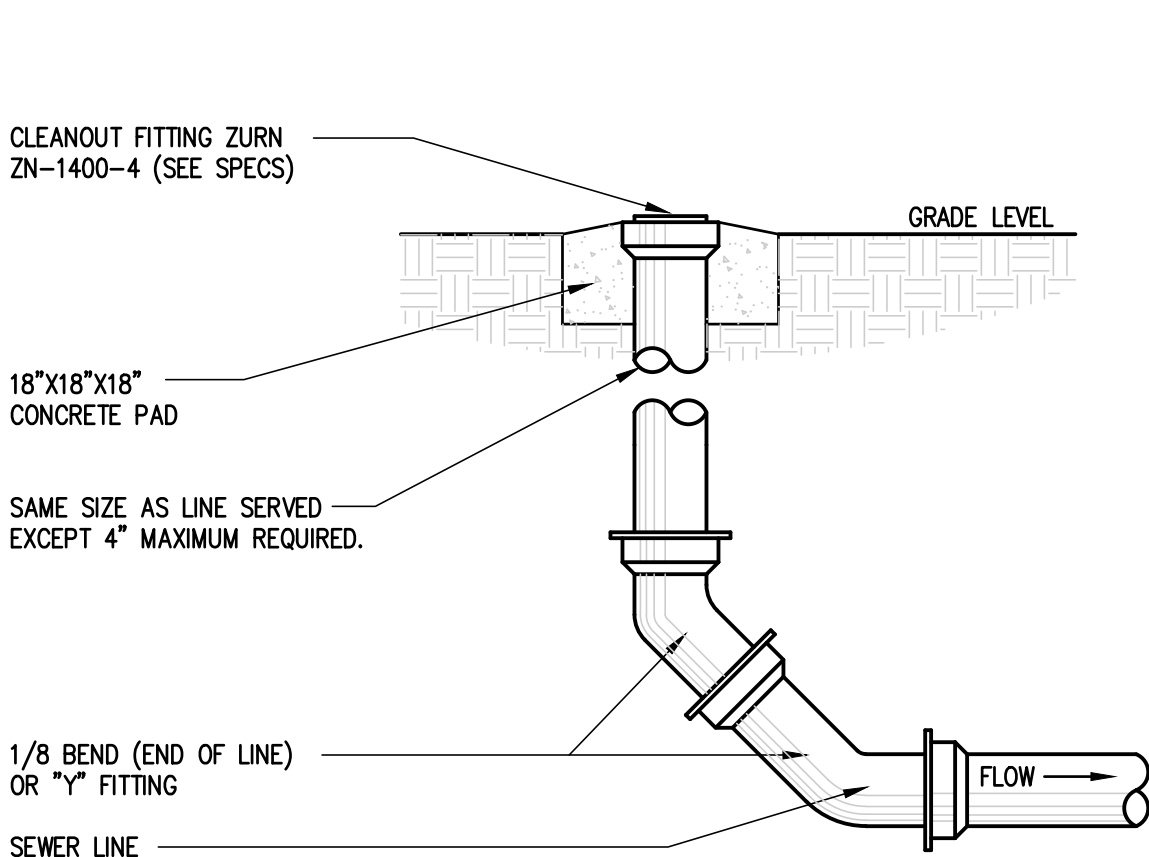
01 VENT THRU ROOF  
DETAIL

SCALE : NOT TO SCALE



03 DOMESTIC WATER LINE  
PIPING SUPPORT DETAIL

SCALE : NOT TO SCALE



02 YARD CLEANOUT DETAIL

SCALE : NOT TO SCALE



04 SK-1

SCALE : NOT TO SCALE



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