



CAMERON COUNTY PURCHASING

1100 East Monroe St,
Brownsville, Texas 78520
(956) 544-0871 Fax: (956) 550-7219

ADDENDUM # 3

PAGE 1 of 8

DATE OUT: 3/9/23

BID TITLE: SANTA ROSA PARK IMPROVEMENTS CONSTRUCTION PHASE II

BID # 230104

DEADLINE: MARCH 14, 2023

(IN ORDER TO AVOID DISQUALIFICATION – ALL ADDENDUMS MUST BE SIGNED AND RETURNED BY DEADLINE AND INCLUDED IN THE SEALED BID PACKAGE SUBMITTED)

DATE DUE: MARCH 14, 2023-

DUE NO LATER THAN 3:00 P.M.

Note:

This addendum is issued for the purpose of modifying the plans and specifications for the Cameron County Santa Rosa Park Improvements – Phase II.

This addendum shall become part of the contract and all CONTRACTORS shall be bound by its content. All aspects of the specifications and drawings not covered herein shall remain the same.

The General Conditions and the Special Conditions of the specifications shall govern all parts of the work and apply in full force to this addendum.

Company Name _____ Phone # _____
Vendor Signature _____ Date _____

Must include and return with Bid Package

March 9, 2023

CAMERON COUNTY
CAMERON COUNTY SANTA ROSA PARK IMPROVEMENTS PHASE II
PROJECT # 2023-C230104

GMS ARCHITECTS
BROWNSVILLE, TEXAS 78526
(956) 546-0110

ADDENDUM NO. 3

A. PURPOSE AND INTENT

This addendum is issued for the purpose of modifying the plans and specifications for the Cameron County Santa Rosa Park Improvements – Phase II.

This addendum shall become part of the contract and all CONTRACTORS shall be bound by its content. All aspects of the specifications and drawings not covered herein shall remain the same.

The General Conditions and the Special Conditions of the specifications shall govern all parts of the work and apply in full force to this addendum.

B. SCOPE

I. CLARIFICATION:

- *The bid date will be March 14, 2023, at 3:00 pm.*
- **NEW BID FORM**

II. SPECIFICATIONS:

- **Division 1;** Section 01010 General Requirements
 - Delete Section 01010 and replace with Section 01010 – Addendum #3 (3 Pages).

II. PLANS:

- Sheet A1.01
 - Delete sheet and replace with A1.01 – Addendum #3.

BID # 230104 SANTA ROSA PARK IMPROVEMENTS CONSTRUCTION PHASE II

BID PROPOSAL FORM
(GENERAL CONTRACT)

Project: Cameron County Santa Rosa Park Improvements Construction Phase II
Place: Cameron County Purchasing Department, 1100 E. Monroe Street 3rd Floor,
Attention: Mr. Ignacio Amezcua, Purchasing Agent
Due Date: **March 14, 2023**
Time: Before 3:00 p.m.

1. Pursuant to and in compliance with the Invitation to Bid and the proposed Contract Documents, prepared by Architect Gomez Mendez Saenz, Inc. relating to the above referenced project, the undersigned, having become thoroughly familiar with the terms and conditions of the proposed Contract Documents and with local conditions affecting the performance and costs of the work at the place where the work is to be completed, and having fully inspected the site in all particulars, hereby proposes and agrees to fully perform the work within the time stated and in strict accordance with the proposed Contract Documents, and addenda, thereto, including furnishing of any and all labor and materials for all roofing, for the following sum of money:

A: BID:
All labor, materials, services and equipment, necessary for completion of the work shown on the drawings and described in the specifications.

DOLLARS (\$))

Same in Words: _____

B. ALTERNATES:

All labor, materials, services and equipment, necessary for completion of the work shown on the drawings and described in the specifications.

1. Walkway Solar Lighting, as noted on MEP Drawings: DOLLARS (\$))

Same in Words: _____

2. Mechanical Unit replacement and repairs, as noted on MEP Drawings. DOLLARS (\$))

Same in Words: _____

3. Baseball Field Light Replacement, as noted on MEP Drawings. DOLLARS (\$))

Same in Words: _____

4. Shade Structure at Pavilion Bleacher (62'-0" x 14'-0 x 12'-0") DOLLARS (\$))

Same in Words: _____

BID # 230104 SANTA ROSA PARK IMPROVEMENTS CONSTRUCTION PHASE II

2. If awarded this Contract the undersigned will execute a satisfactory Construction Contract, Performance Bond, Labor and Material Payment Bond and proof of insurance coverage, with the Owner for the entire work as per the Contract Documents within 5 days after notice of award. It is agreed that this proposal is subjected to the Owner's acceptance for a period of Thirty (30) days from the above date.
3. Contractor shall be substantially completed within _____ calendar days.
4. Enclosed is a Certified Check or Bidders Bond in the amount of \$ _____ compliance with the specification requirements. (5% of the highest amount bid).

The above check or Bidders Bond is to become the property of the Owner in the event the Construction Contract (when offered by the Owner) and the bonds and proof of insurance coverage are not executed within the time set forth above.

5. The undersigned agrees to the following:
 - A. To furnish all materials as shown and specified in the plans and specifications.
 - B. To start work 5 days after notice of award of contract.
 - C. To work _____ working days per week.
6. The full amount of all allowances as specified in the General Requirements, Division 1, of the specifications, in the Base Proposal price shown.

7. Receipt is acknowledged of the following addendas:

| | | | |
|-----|-------|-----|-------|
| No. | Dated | No. | Dated |
| No. | Dated | No. | Dated |

8. Bidder agrees that the Owner has the right to accept or reject any or all bids and to waive all informalities.

Respectfully submitted,

By: _____ Date _____
Signature

Title: _____

Business Address: _____

(Seal - if Bidder is a corporation)

DIVISION 1 - GENERAL REQUIREMENTS

SECTION 01010 - SUMMARY OF WORK:

- 1.1 Location: The project site for Cameron County Parks – Santa Rosa Park Phase-II Improvements is located at Santa Rosa Blvd. (FM506), Santa Rosa, TX.
- 1.2 Approval of Working Surfaces: Any contractor performing work over the work of other contractors shall notify the Architect of any unsatisfactory condition. Beginning of work by any contractor shall constitute the acceptance of the previous work.
- 1.3 Checking Dimensions at Site: Before ordering any materials or doing any work, verify all measurements of the building and be responsible for the correctness of them. No extras will be allowed for variations from drawings in existing conditions or for work performed under this contract. Any discrepancies found shall be submitted to the Architect for instruction before proceeding. The Section shall be enforced diligently.
- 1.4 Cutting & Patching: No excessive cutting will be permitted, nor shall any structural members be cut without the approval of the Architect. Each contractor shall leave all chases and openings straight, true and of the proper size in his work as may be necessary for the proper installation of his and/or other contractor's work. After such work has been installed, he shall carefully fit around, close up, repair, patch and point up same as directed, to the entire satisfaction of the Architect.
- 1.5 Cooperation: The General Contractor, all other contractors and all sub-contractors shall coordinate their work with all adjacent work and shall cooperate with all other trades as to facilitate the general progress of the work. Each trade shall afford all other trades every reasonable opportunity for installation of their work and storage of their materials.
- 1.6 Project Logbook: The project superintendent shall maintain a daily project logbook, indicating which sub-contractors were on the job, time of arrival, and the number of workers. Statements as to the daily progress shall be logged. This logbook shall be made available to the Architect and shall be kept at the job site office.
- 1.7 Inspection and Tests: Architect and his representative shall at all times have access to the work whether it is in preparation or progress. Provide proper and safe facilities for such access and inspection. Make all inspections and test in connection with this entire contract as required by the Architect. All material testing shall be paid for by the Testing Allowance and be done by an independent testing laboratory meeting the approval of the architect.
- 1.8 Security: Provide security fencing in all work areas. See Temporary Facilities.
- 1.9 Mockup Panel: Provide a mock-up for evaluation of product and application workmanship.
 1. Install in area and of size designated by Architect.
 - a. Construct mockup to illustrate backup wall, exterior sheathing, air barrier, cavity wall, connectors, weep holes, cavity vents, and through wall flashing.
 - b. Construct mockup panel 72 inches by 72 inches to illustrate coursing, anchorage, mortar joints and color, window opening and flashing system.

2. Do not proceed with work until finish color, texture, pattern, joint sizes, and installation workmanship are approved by Architect.
3. Correct mock-up area as required to produce acceptable work.

2. ALLOWANCES:

See Paragraph 4.8 of the General Conditions.

2.1 Testing Allowance: A recognized, independent material testing laboratory will be selected and paid directly by the Owner.

2.2 Betterment Allowance: Include the sum set forth below as a Betterment Allowance which will, if needed, be expended on Betterment to the Project, as directed in writing by approved change orders.

Betterment Allowance: \$20,000.00

2.3 Structural Allowance: Include the sum set forth below as a Betterment Allowance which will, if needed, be expended on Betterment to the Project, as directed in writing by approved change orders.

Reinforcing Steel Allowance: \$ 4,000.00

Fabricated Steel Allowance: \$ 6,000.00

2.4 Signage Allowance: Include the sum set forth below as a Betterment Allowance which will, if needed, be expended on Betterment to the Project, as directed in writing by approved change orders.

Signage Allowance: \$ 5,000.00

2.5 Splash Pad Allowance: Include the sum set forth below as a Betterment Allowance which will, if needed, be expended on Betterment to the Project, as directed in writing by approved change orders.

Splash Pad Allowance: \$ 30,000.00

SECTION 0110 - BID SCHEDULE

1. BID SCHEDULE: All proposals and alternate bid items shall be subject to the General and Special Conditions and all other related sections of the specifications and requirements of the drawings. The Owner shall have the right to accept or reject any or all alternates.

1.1 BASE BID: The Contractor shall state on the General Contract Bid Proposal under the Base Bid, the amount for all work, complete in all respects in accordance with plans and specifications, to construct Santa Rosa Park Improvements. The scope of work is defined in the plans and specifications.

1.2 ALTERNATES: The Contractor shall state on this Bid Form, under each Alternate the amount to add to this bid to perform all work, complete in all respects, in accordance with the plans and specifications to construct work required by the Alternates.

Alternate #1 – Install Solar Powered Walkway Pole Lights, as shown on Electrical Drawings.

Alternate #2 – Mechanical Unit Replacement and Repairs, as noted on MEP Drawings.

Alternate #3 – Baseball Fields Lighting Replacement, as noted on the MEP Drawings.

Alternate #4 – 62'-0" x 14'-0" x 12'-0" Fabric Shade Structure at Basketball Pavilion Bleachers, as noted on the Sheet A1.01.

SECTION 0120 - AS BUILT DRAWINGS:

As the work proceeds, keep careful records of piping, electrical circuits, duct work and other concealed work whose installed location varies from that shown on plans. Refer to Section 01705 Project Closeout for additional requirements.

SECTION 0130 - REPORTS:

The Contractor will provide a written report to the Architect after each inspection conducted by the City Inspectors concerning their findings.

SECTION 0140 - QUANTITIES & WARRANTIES:

All guarantees and warranties expressed or implied shall be provided to the Architect in written form prior to final payment.

SECTION 0150 - PICTURES:

In addition to the required monthly progress photos, the Contractor will provide the following:

1. Aerial job photos.
2. Sequence photographs showing the flashing in place prior to application of roof. This is MANDATORY. Close-ups of all flashing are required.

The Contractor is required to submit progress photos with each month's application for payment.

SECTION 0160 - CERTIFICATION OF CONSTRUCTION:

The building contractor or construction manager shall certify in writing that the facility has been constructed in accordance to the construction documents and its specifications.

SECTION 0170 - CERTIFICATION OF NON-USE OF ASBESTOS PRODUCTS

The General Contractor shall provide the Architect with written certification letters from all sub-contractors and suppliers that no asbestos products shall be use on this project.

SECTION 0180 - SCOPE AND SEQUENCE OF CONSTRUCTION

1.1 General:

No time extensions shall be considered.

The successful bidder shall under no circumstances leave this project unsecured or unprotected at any time during construction. The General Contractor is to refer to Section 01505 Temporary Facilities for all requirements required by this project.

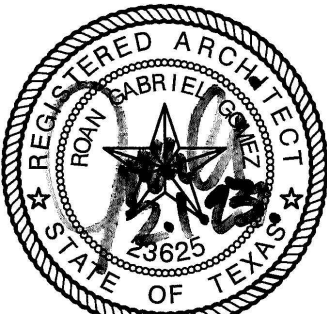
The General Contractor to provide all necessary precautions and safeguards during construction for protection of personnel utilizing the site and any visitor who might visit the project site. The General Contractor shall provide in a neat format project monthly reports with photos showing progress of construction for their review.

| REVISIONS | BY |
|------------|----|
| 02/10/2023 | RN |
| 03/9/2023 | RN |



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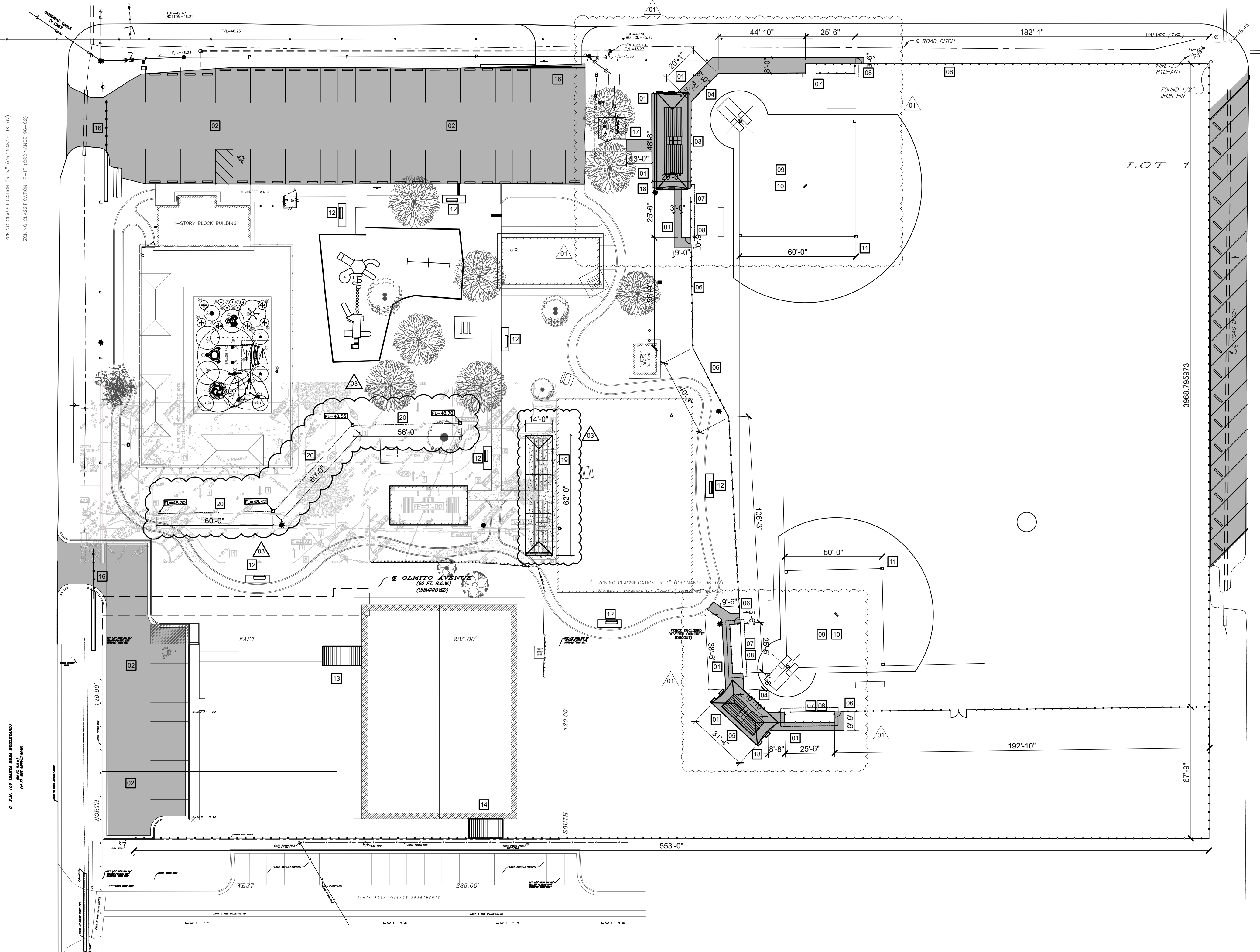
CAMERON COUNTY PARKS
SANTA ROSA PARK IMPROVEMENTS



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Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

Date: JANUARY 2023
Scale: As Noted
Project Architect: Roan G. Gomez, AIA
Drawn By: RN
Job No.: SANTA ROSA - PHASE 2
Sheet:

A1.01



KEYED NOTES

- 01 CONCRETE WALK AS DIMENSIONED, REFER TO DTL'S 01, 02, 03 THIS SHEET
- 02 ASPHALT OVERLAY AT EXISTING LOTS
- 03 PROVIDE (1) -33' X 5 ROW PICKET GUARD RAIL ALUMINUM BLEACHERS, FASTEN TO CONCRETE FOUNDATION. MODEL # BGS-126 BY BELSON OUTDOORS 1-800-323-5664. WWW.BELSON.COM
- 04 20'-0" HIGH GALVANIZED CHAIN LINK BACKSTOP.
- 05 PROVIDE (1) -21' X 5 ROW PICKET GUARD RAIL ALUMINUM BLEACHERS, FASTEN TO CONCRETE FOUNDATION. MODEL # BGS-008 BY BELSON OUTDOORS 1-800-323-5664. WWW.BELSON.COM
- 06 4'-0" HIGH GALVANIZED CHAIN LINK FENCE WITH DOUBLE 4'-0" GATES TO BE LOCATED BY ARCHITECT.
- 07 25'-0" WIDE DUGOUTS WITH FULL HEIGHT CHAIN LINK SURROUND
- 08 PREFINISHED METAL CANOPY AT DUGOUTS
- 09 CLAY BASEBALL INFIELD. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION
- 10 IRRIGATION SYSTEM AT BASEBALL FIELDS. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION
- 11 BASEBALL FIELD LIGHTING - REFER TO ELECTRICAL
- 12 PARK BENCHES. REFER TO LANDSCAPE
- 13 9'-0" TALL PREFINISHED METAL WALKWAY CANOPY
- 14 CONCESSION ROOM ADDITION
- 15 CONCESSION ROOM ADDITION
- 16 28'-0" WIDE, 6'-0" TALL ROLLING CHAIN LINK TRAFFIC GATE ON V-TACK. REFER TO SHEET A1.02
- 17 6'-0" HIGH GALVANIZED CHAIN LINK FENCE WITH (1) 4'-0" GATES TO BE LOCATED BY ARCHITECT.
- 18 FABRIC SHADE STRUCTURES AS SPECIFIED.
- 19 62'-0" x 14'-0" FABRIC SHADE STRUCTURE - (ALTERNATE # 4)
- 20 6" PVC DRAINLINE WITH (3) 12x12 BASIN KITS WITH 12" CONCRETE SURROUND. BASIN KIT EQUAL TO NDS MODEL #1200MTLKIT.

INCLUDE 80 CUBIC YARDS OF TOPSOIL TO BE USED FOR REGRADING TO INLETS.

01 OVERALL SITE PLAN

SCALE : 1/16"=1'-0"

SITE NOTES:

- 1) FINISH GRADE TO BE 6" BELOW FINISH FLOOR ELEVATION SLOPE AWAY FROM ALL IMPROVEMENTS AT A RATE OF 1/4" PER FOOT FOR THE FIRST 10'-0"; THEN AT A RATE OF 1/8" PER FOOT FOR THE NEXT 20'-0"
- 2) SIDE WALK SLOPE IS NOT TO EXCEED 1:20 WITH A CROSS SLOPE OF 1:50 AT ANY INSTANCE.
- 3) REFER TO CIVIL, LANDSCAPE AND MECHANICAL DRAWINGS FOR ADDITIONAL WORK TO BE PERFORMED UNDER THIS CONTRACT.
- 4) PLAY FIELDS, TRAFFIC STRIPPING & TRAFFIC SIGNS NOT SHOWN FOR CLARITY. REFER TO ARCHITECTURAL SHEETS A1.09 THRU A1.13 FOR NOTATION AND REQUIREMENTS
- 5) AT ALL ENTRIES OF NEW BUILDINGS WARP CONCRETE SIDEWALKS SO AS TO PROVIDE A FLAT SURFACE WITH FINISHED FLOOR
- 6) GENERAL CONTRACT TO TAKE CARE NOT TO DAMAGE EXISTING SODDED AREA OR VARIOUS ELEMENTS OUTSIDE THE LIMITS OF WORK AND SHALL PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING STRUCTURES TO REMAIN IN PLACE. SHOULD ANY DAMAGE BE CAUSED BY THE CONSTRUCTION PROCESS OUTSIDE OF REMOVAL & SITE CLEARING AREA, THE GENERAL CONTRACTOR IS TO BE RESPONSIBLE TO REPAIR OR REPLACE DAMAGED AREAS AT NO COST TO THE OWNER.
- 7) PROVIDE TEMPORARY CONSTRUCTION FENCE - ENSURE THAT CONSTRUCTION SITE IS SECURE FROM ANYONE THAT MAY VISIT THE SITE - ENSURE CONSTRUCTION FENCE IS A MINIMUM OF 6'-0" HIGH CHAIN LINK FENCE OR APPROVED EQUAL



ZONING CLASSIFICATION "R-1" (ORDINANCE 96-02)
ZONING CLASSIFICATION "R-1" (ORDINANCE 96-02)

© P.L. 199 (MAYOR AND ARCHITECT)
BY: [Signature]

Mar 09, 2023 - 3:55pm (User: jg) (Project: Cameron County Santa Rosa Park Phase 1) (Sheet: A1.01) (2.4kg)