



CAMERON COUNTY PURCHASING

1100 East Monroe St,
Brownsville, Texas 78520
(956) 544-0871 Fax: (956) 550-7219

ADDENDUM # 1 - PAGE 1 of 7

DATE OUT: 12/05/23

BID TITLE: LOS FRESNOS ANNEX BUILDING RENOVATION

BID NUMBER # 231101

DEADLINE: ~~December 7, 2023 at 3:00 p.m.~~ December 12, 2023 at 3:00 p.m.

(IN ORDER TO AVOID DISQUALIFICATION – ALL ADDENDUMS MUST BE SIGNED AND RETURNED BY DEADLINE AND INCLUDED IN THE SEALED BID PACKAGE SUBMITTED)

1.- CHANGE # 1

BID DUE DATE WILL BE CHANGE TO THE FOLLOWING:

FROM

DATE DUE: ~~December 7, 2023-~~

DUE NO LATER THAN 3:00 P.M.

TO:

DATE DUE: ~~December 12, 2023-~~

DUE NO LATER THAN 3:00 P.M.

2.- Response to request for clarifications during the pre-bid meeting at job site.

Please see response to clarifications from Project Architect, K + Architect, Inc.

Note:

This addendum shall become part of the RFP and all RESPONDERS/PARTICIPANTS shall be bound by its content. All aspects of the scope of work/services not covered herein shall remain the same.

Company Name _____ Phone # _____

Vendor Signature _____ Date _____

Must include and return with Bid package

**LOS FRESNOS ANNEX
TAX AND CONSTABLE OFFICE RENOVATIONS
745 W. OCEAN BLVD. LOS FRESNOS, TEXAS**

BID # 231101

ADDENDUM #1

December 5, 2023

**K + ARCHITECT, INC.
508 BEACH BLVD., LAGUNA VISTA, TEXAS 78578
PHONE (956) 434-9535**



This addendum includes clarification of plans, specifications, and questions from the Pre-Bid Meeting from November 29th, 2023.

Specifications:

Section 01010 Amended Summary of Work

Plans:

- D1.0 A. Demolition shall not be started on the Phase 2 portion of the work until Phase 1 is 95% complete and Punch List completed to Architects satisfaction.

- A1.0 A. Phase 1 & 2 noted per area of work
B. Dimensions added at New Teller Station Wall
C. One New Door, Door #2, with frame to be supplied by the County

- A2.0 A. Phase 1 & 2 Noted
B. Dimensions added at New Teller Station Wall
C. General Notes #2 Amended for Time frame of the work
D. General Note #4 All New Walls to extend to Roof Deck
E. Proposed Cabinet Section Dimensions Amended for through wall Countertops.
F. Existing and New Cabinet locations can be Changed/Amended with Architects Approval.

SECTION 01010 - SUMMARY OF WORK

PART 1 - GENERAL

1.01 GENERAL CONDITIONS

As specified in Section 00700.

1.02 SUMMARY

- A. Project identification: Bid # **231101**
Los Fresnos Annex Tax and Constable Office – Interior Renovations
745 W. Ocean Blvd, Los Fresnos, Texas
- B. Project Summary: Partial interior renovations for the Building including but not limited to: Demolition and Construction items, Removal of existing Interior Walls, Cabinets and misc. items. Installation of new metal stud frame walls, gypsum board sheathing, insulation, painting, aluminum windows, wood doors, metal frames, cabinets, vinyl composition tile floor, suspended ceiling grid and panels, ceiling utility service relocation & installation for areas of the work including: HVAC systems, electrical systems, telephone, security, data conduit and fire alarm.
- a. The Owner is considering performing the work of Removal and Installation of the security, data and intercom systems as required. If the price from the Contractor is favorable, the Contractor shall provide this service. If the Owner performs this work the Contractor is to coordinate the installation and proper location of all site elements installed by the Owner for a successful project. All Cabinets to be removed shall be reused unless damaged, if damaged these shall be replaced with new cabinets.
 - b. The Owner must remain in operation during the Majority of the construction process.
 - i. Contractor to coordinate dates and times of the work so the Justice of the Peace offices are in operation throughout the duration of construction.
 - ii. Phase 1 shall be on the conversion of the Existing Conference Room to Constable Offices which shall be completed before start of the Teller Office Expansion into the Existing Constable Work Office.
 - iii. Phase 2 shall be the conversion of the Constable Office Area to Teller Stations.
 1. The work shall be performed after hours between 5:00pm and 10:00pm on week days and specific week ends primarily. Coordinate the presence of an approved County Employee during these times.
 2. The Tax Office can be closed for a minimum number of days for the work to be completed in this area.
 3. Contractor to coordinate the work to minimize the number of days that the Tax Office will be closed.
 4. Contractor to request dates for Tax Office to be Closed at least 10 days before the work shall be done.
- C. The Owner requires the contractor to complete the work and the facility to be open by a certain date. The contractor and his major subcontractors shall meet with the Owner and Architect to discuss, decide, and schedule the various major and minor phases of the work for secure and safe operation such that the facility will be open on time. **Time Frame for the work shall be 90 days after receipt of the Building Permit.**
- a. Time frame for the work shall be as follows:
 - i. The time shall not start until the Building Permit is issued.
 - ii. The time frame can be extended with written confirmation that certain items will

take a longer time to order and be delivered.

- iii. If there are multiple long lead items, construction should start later to coordinate with the delivery of long lead items again verify time frame in writing from manufacturer.
- iv. Contractor shall provide a written time table for the work which will include dates to start from date any long lead items shall arrive.
- v. Contractor is encouraged to start the work based on a solid schedule for the work to limit the days the work on the project is not progressing. Limit the number of idle days for work on the project.

D. The Contractor shall provide:

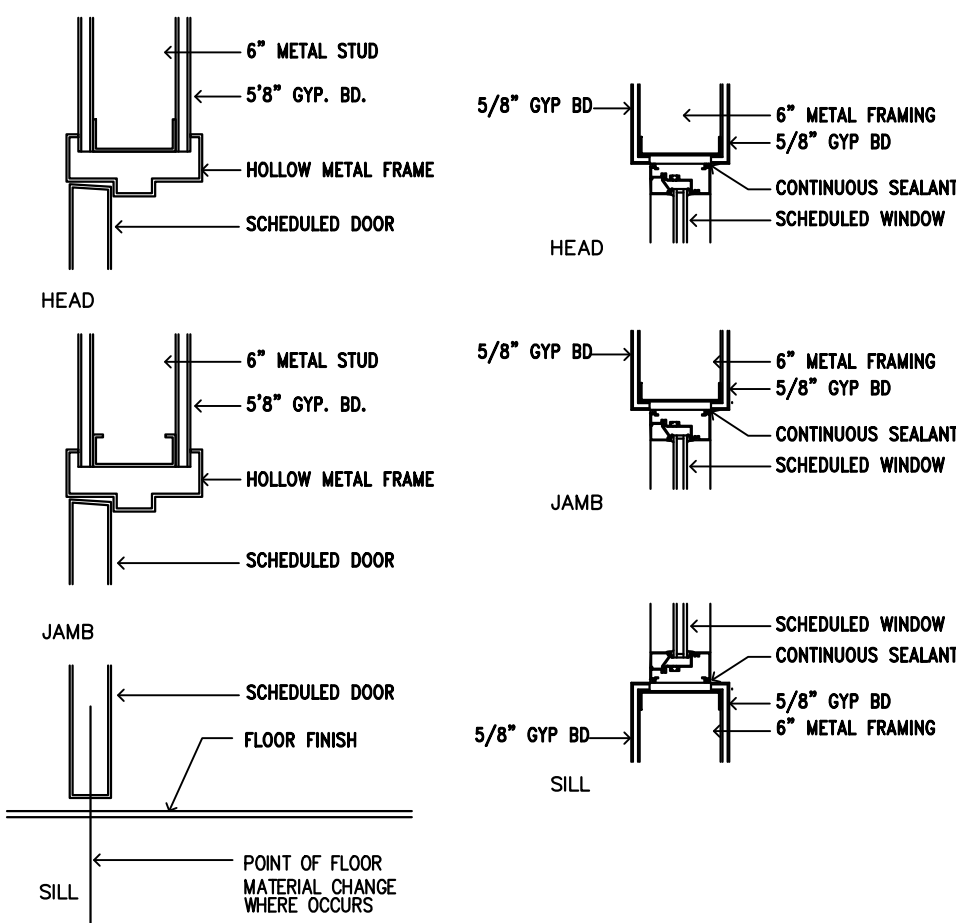
- a. Security services as required, at the Contractor's expense during the work
- b. All safety measures as required by OSHA and the City of Los Fresnos.
- c. Chain link construction fence with secure gated entry at the rear of building during the course of the work.
- d. Safe storage of items purchased by the Owner and its contractors for installation on this project for the duration of the project.
- e. An Approved Fence Area at the Rear of the Building shall be available during construction. If grass areas are destroyed or compromised, new sod of same grass will be installed in that area at the end of the project.

END OF SECTION

HATCHING DENOTES NEW WALL

GENERAL NOTES:

- ALL DIMENSIONS ARE +/- 1", EXCEPT ADA CODE REQUIRED DIMENSIONS, ANY LARGER EXIST DIMENSION ISSUES NOTIFY ARCHITECT FOR INSTRUCTIONS.
- NEW WALLS ARE 4" METAL STUDS W/ SOUND INSULATION & 5/8" FIRE CODE GYPSUM BOARD. TAPE FLOAT & PAINT ALL WALLS TO MATCH EXISTING COLORS AND TEXTURE.
- NEW TELLER STATIONS OPEN TO EXISTING TAX OFFICE INCLUDES FOLLOWING IMPROVEMENTS:
 - NEW LOBBY SIDE COUNTER 12" DEEP AT NEW AND OLD TELLER STATIONS
 - NEW TELLER WINDOWS "B" TO MATCH EXISTING DIMENSIONS OF OLD TELLER WINDOW "K" IN 4" FRAME. MAKE NOTE OF EXISTING COLUMNS BEFORE SIZING & ORDERING NEW TELLER WINDOW.
 - ADD 2 NEW PASS UNDER GLASS TRAYS TO MATCH EXISTING
 - PROVIDE FOR 2 - 20" MONITORS AT EACH TELLER
 - PROVIDE FOR 2 PRINTERS IN SIDE RETURN CABINET WITH SLIDE OUT PRINTER TRAYS
 - PROVIDE BASE SHELF UNDER COUNTER FOR COMPUTERS & ACCESSORIES TO BE OFF THE FLOOR.
 - PROVIDE COMPUTER & PRINTER OUTLETS TO MATCH EXISTING AS REQ'D
 - PROVIDE NEW PLASTIC LAMINATE COUNTERTOPS TO MATCH EXISTING
 - NEW CABINETS & COUNTERTOPS TO BE STAIN GRADE LUMBER & STAINED & SEALED TO MATCH EXISTING
- MOVE EVIDENCE WALL CABINET AS NOTED
- MOVE UPPER CABINETS & COUNTERTOP IN EXISTING CONSTABLE WORKSTATION TO NEW CONSTABLE WORKSTATION
- REPAIR & REPLACE CEILING TILES AS REQ'D WITH SAME TILE.
- RELOCATE LIGHT FIXTURES & ADD NEW TO MATCH EXISTING AS REQ'D.
- PROTECT EXISTING FLOOR TO REMAIN, REPLACE FLOORING FOR EACH ROOM IF DAMAGED.
- NEW DOORS & FRAMES TO MATCH EXISTING, SOLID CORE W/ SAME LOCKSET.
- NEW CONSTABLE OFFICE WINDOW TO MATCH EXISTING WINDOW FRAME & GLASS.
- PROVIDE 2" SOUND BATT INSULATION TO ROOF DECK ON ALL NEW WALLS.
- ALL COUNTERTOPS, CABINETS & EQUIPMENT TO BE LOCATED AT ACCEPTABLE HEIGHTS & DEPTHS PER ADA CODE & CITY OF LOS FRESNOS
- ANY NEW INSTALLATION THAT AFFECTS ADJOINING MATERIAL AND/OR SURFACES TO BE REPAIRED OR REPLACED AS REQUIRED TO COMPLETE THE WORK.



2 PROPOSED DOOR & WINDOW SECTIONS

A1.1 Scale: 3/16" = 1'-0"

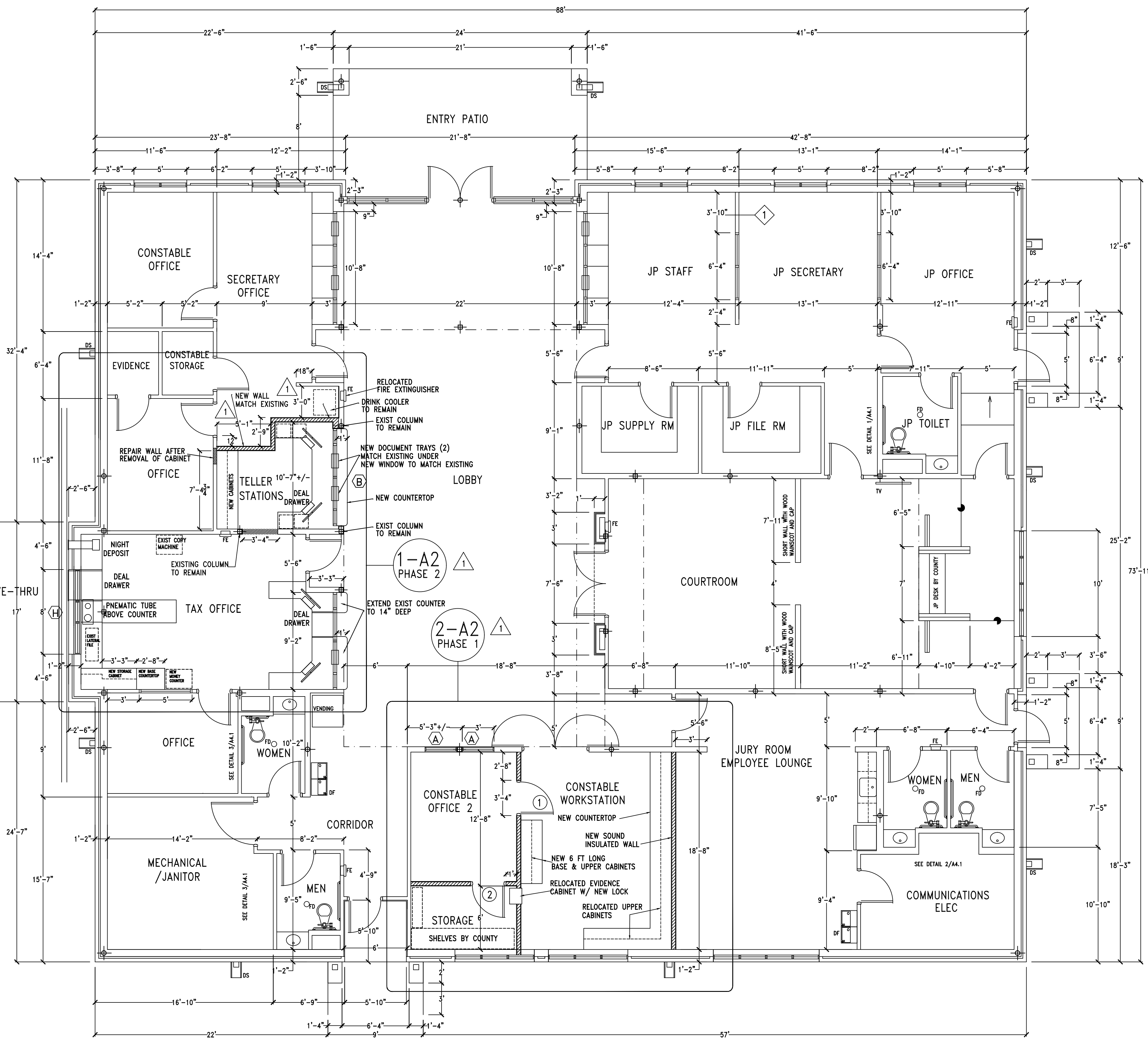
WINDOW SCHEDULE MATCH EXISTING INTERIOR FRAME & GLAZING					
MARK	WINDOW SIZE	QTY.	FRAME	GLASS	REMARKS
A	4'-0" x 7'-4"	1	ALUMINUM	INSULATED - LOW E	FIXED TEMPERED GLASS
B	6'-0" x 8'-0"	11	ALUMINUM	INSULATED - LOW E	FIXED TEMPERED GLASS

ALL DOOR GLASS AND GLASS WITHIN 24" OF DOORS TO BE TEMPERED

DOOR SCHEDULE LEVER DOOR HANDLES TO MATCH EXISTING MANUFACTURER, STYLE & FINISH BOTH DOORS TO MATCH EXISTING WOOD TYPE, GRAIN, COLOR & FINISH - ONE DOOR PROVIDED BY COUNTY					
MARK	DOOR SIZE (1 3/4")	DOOR TYPE	FRAME TYPE	REMARKS	
1	3'-0" x 7'-0"	1	A	INTERIOR SOLID CORE DOOR W/ KEYED LOCKSET	
2	3'-0" x 7'-0"	1	A	INTERIOR SOLID CORE DOOR W/ KEYED LOCKSET & DEADBOLT	

DOOR & HARDWARE NOTES:

- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST. LEVER OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPE HANDLES ARE ACCEPTABLE DESIGNS PER ADA CODE.
- THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE - 5 LBF PER ADA CODE
- DOORS MUST BE FINISHED BEFORE INSTALLATION TO MINIMIZE TWISTING AND WARPING
- NEW DOORS TO BE SAME SPECIES OF WOOD WITH FINISH, COLOR & GRAIN TO MATCH



ROOM NAME	BASE MATL	FLOOR MATL	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CLG MATL	CLG HGT	REMARKS
TAX OFFICE	VINYL	VBT	W1	W1	W1	W1	ME	10'	
NEW TELLERS	VINYL	VBT	W1	W1	W1	W1	ME	10'	
CONSTABLE SECRETARY	VINYL	VBT	W1	W1	W1	W1	ME	10'	
CONSTABLE WORKSTATION	6WB	VBT	W1	W1	W1	W1	ME	12'	
CONSTABLE OFFICE 2	6WB	VBT	W1	W1	W1	W1	ME	12'	
STORAGE ROOM	VINYL	VBT	W1	W1	W1	W1	ME	12'	

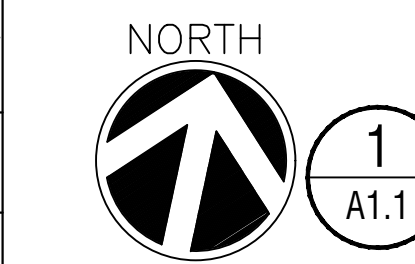
FINISH SCHEDULE: 1. ALL FLOOR, WALLS & CEILING TILES TO MATCH EXISTING 2. VINYL BASE & WOOD BASE TO MATCH EXISTING 3. NEW FLOOR TO BE TARKETT EXPRESSIVE IDEAS VINYL BASED TILE ONLY IN ROOMS WITH ENTIRE FLOOR BEING REPLACED 4. ALL PAINT TO MATCH EXISTING ON EXISTING WALLS 5. PAINT COLOR ON NEW WALLS TO BE CHOSEN BY ARCHITECT

BASE MATERIAL: 6WB = 6" WOOD BASE (SEE DETAIL 4/A-8.1) VINYL = VINYL BASE

FLOOR MATERIAL: VBT = VINYL BASED TILE AHF CONTRACT TILE EXPRESSIVE IDEAS COLOR BY OWNER

WALL MATERIAL: W1 = PAINTED GYP.BD.

CEILING MATERIAL: ME = MATCH EXIST SUSPENDED CEILING



1 PROPOSED RENOVATION FLOOR PLAN

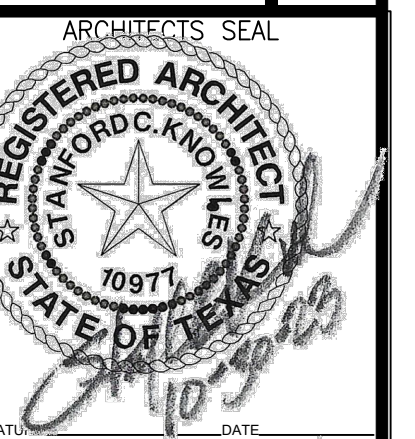
A1.1 Scale: 3/16" = 1'-0"

PAINT NOTES:

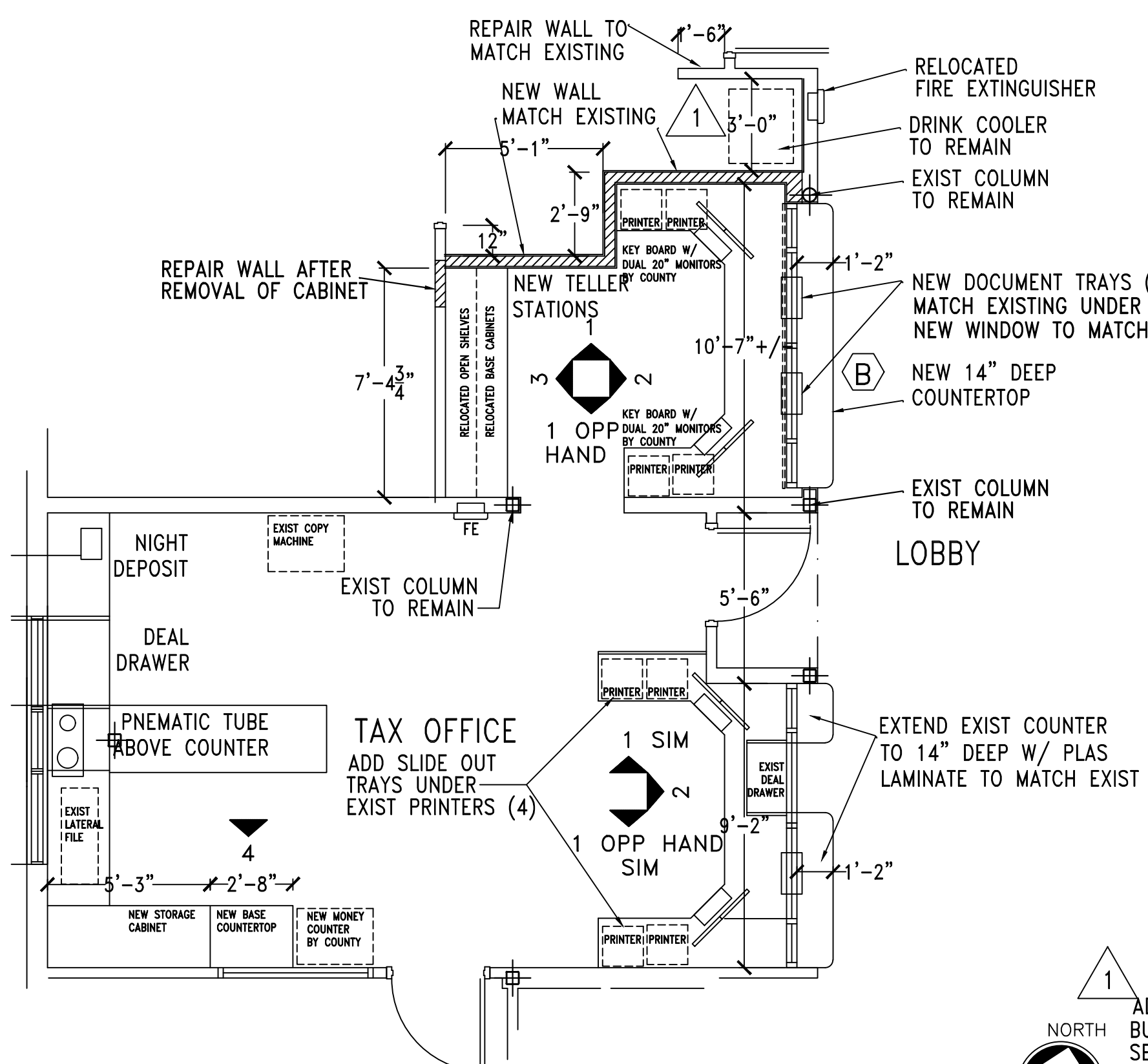
- OWNER TO CHOOSE COLORS AND ACCENT COLORS IN NEW WALLS, EXISTING WALLS REPAIRED TO MATCH EXIST COLORS
- ALL TRIM TO MATCH EXISTING WOOD STAINED OR VINYL BASE. ALL WALLS & CEILINGS TO BE PAINTED SEMI-GLOSS
- ALL PAINTS, PRIMERS AND ANTI-CORROSIVE COATINGS APPLIED ON-SITE TO THE BUILDING INTERIOR TO BE SEMI-GLOSS & MUST NOT EXCEED THE VOC LIMIT OF GREEN SEAL ENVIRONMENTAL STANDARD. GS-11 COATINGS TO MEET SCAQMD RULE 1113
- PROVIDE PROTECTION TO WORK TO MINIMIZE DAMAGE TO EXISTING FINISHES, IF DAMAGED REPLACE OR REPAIR AS AS ACCEPTABLE TO OWNER

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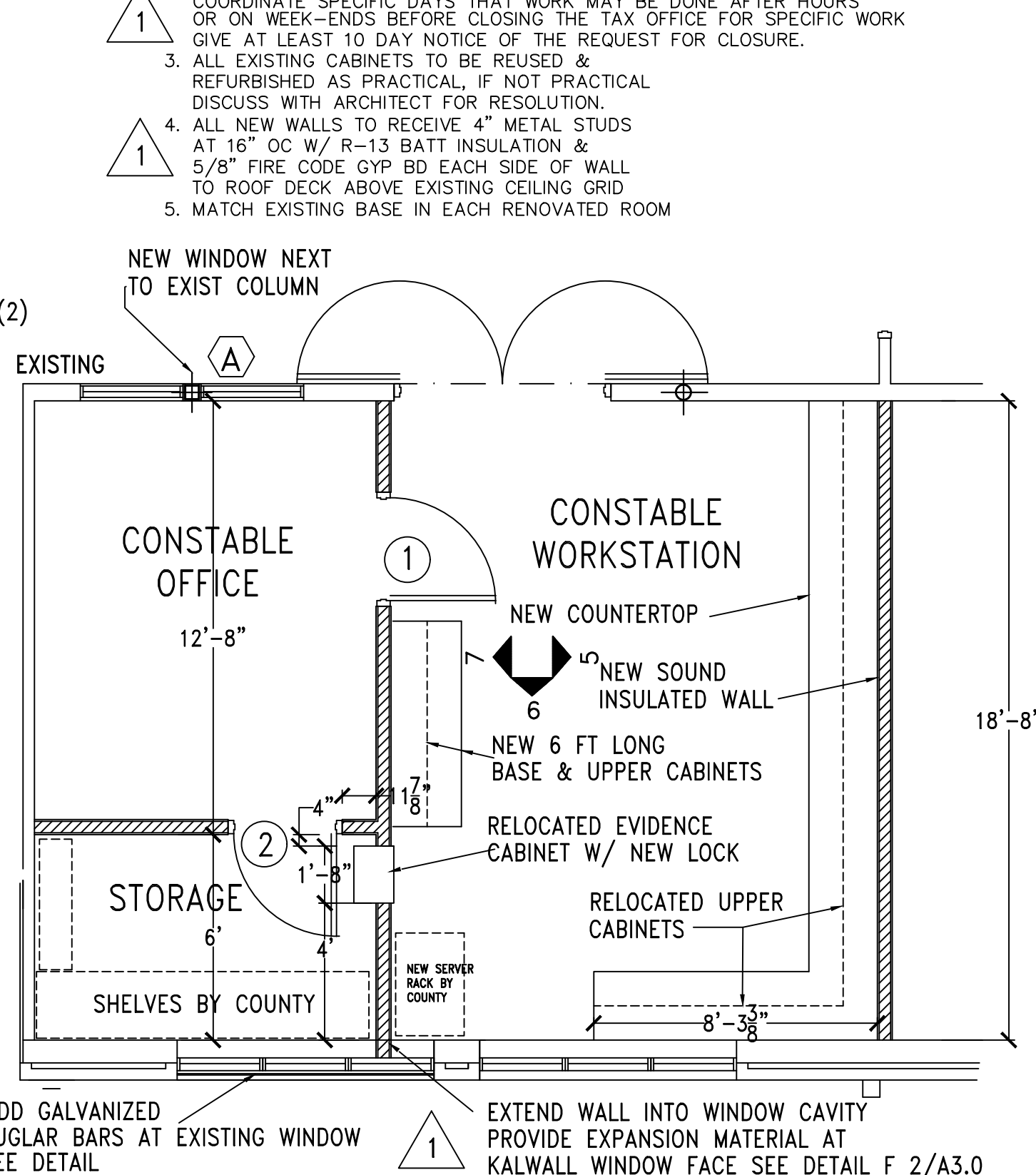
**LUIS ROMERO BUILDING - LOS FRESNOS ANNEX
REMODELING OF TAX & CONSTABLE OFFICES
745 W. OCEAN BLVD, LOS FRESNOS, TEXAS
PROPOSED DEMOLITION PLAN**



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NO.	DATE	REVISIONS
1	12-4-23	PHASES, DOOR BY COUNTY
DRAWN BY: SK		CHECKED BY: SCK
DATE: 10-31-2023		
SHEET NO. A1.0		



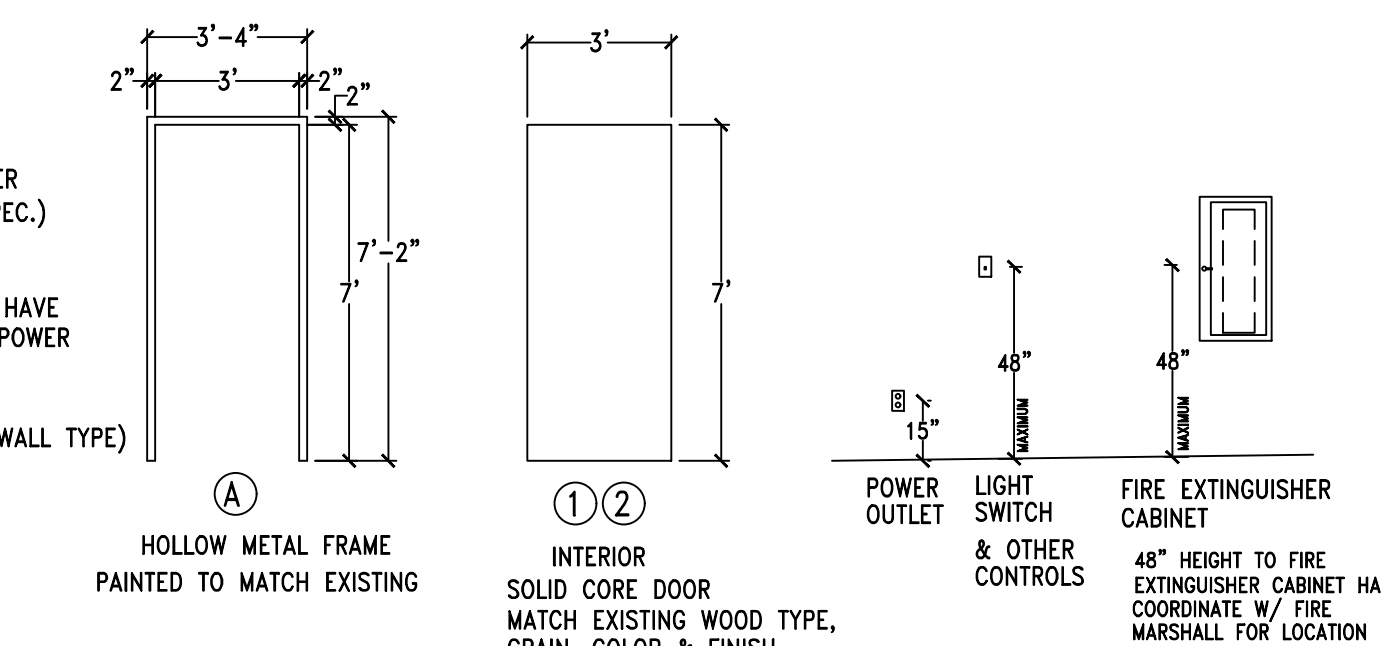
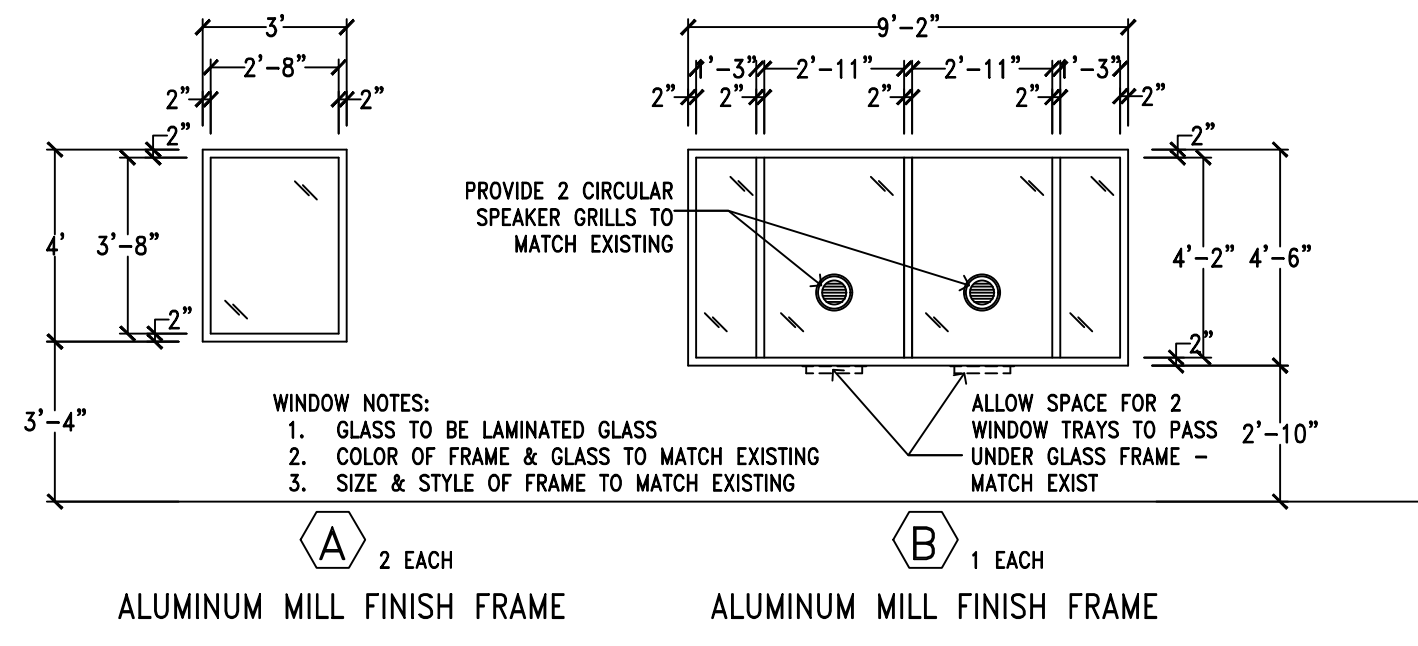
1 PROPOSED CONSTABLE ADDITION FLOOR PLAN PHASE 2
Scale: 1/4" = 1'-0"



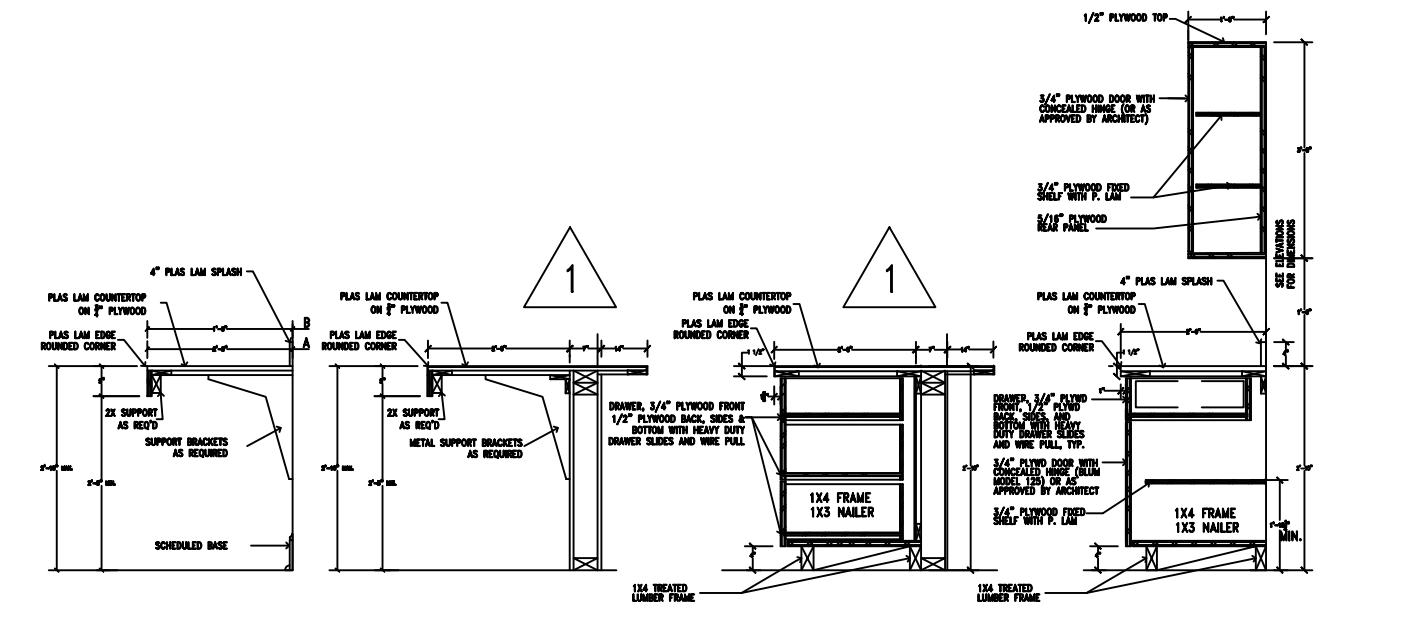
2 PROPOSED CONSTABLE ADDITION FLOOR PLAN PHASE 1 TO BE COMPLETED BEFORE WORK ON PHASE 2
Scale: 1/4" = 1'-0"

- CABINET NOTES:**
1. SALVAGE AND RELOCATE ALL CABINETS AS NOTED
 2. DAMAGED EXIST CABINETS TO BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO COUNTY
 3. NEW CABINETS TO MATCH EXISTING & HAVE SAME WOOD, STAIN AND SEALER AS EXISTING
 4. NEW BASE TO MATCH EXISTING IN EACH ROOM
 5. CABINETS TO BE ALL WOOD, NO PARTICAL BOARD OR MDF BOARD
 6. UPPER CABINETS TO RECEIVE BLOCKING TO CARRY 100 LBS PER LINEAL FOOT
 7. NEW BASE & UPPER CABINETS TO HAVE ADJUSTABLE SHELVES
 8. NEW PLASTIC LAMINATE IN TAX OFFICE TO MATCH EXISTING
 9. NEW PLASTIC LAMINATE IN CONSTABLE WORKSTATION TO BE CHOSEN BY OWNER.
 10. BASE CABINETS IN CONSTABLE WORKSTATION TO HAVE 4" BACKSPLASH
 11. HEIGHT & WIDTH DIMENSIONS MAY BE DIFFERENT FOR EACH SET OF UPPER & LOWER CABINETS

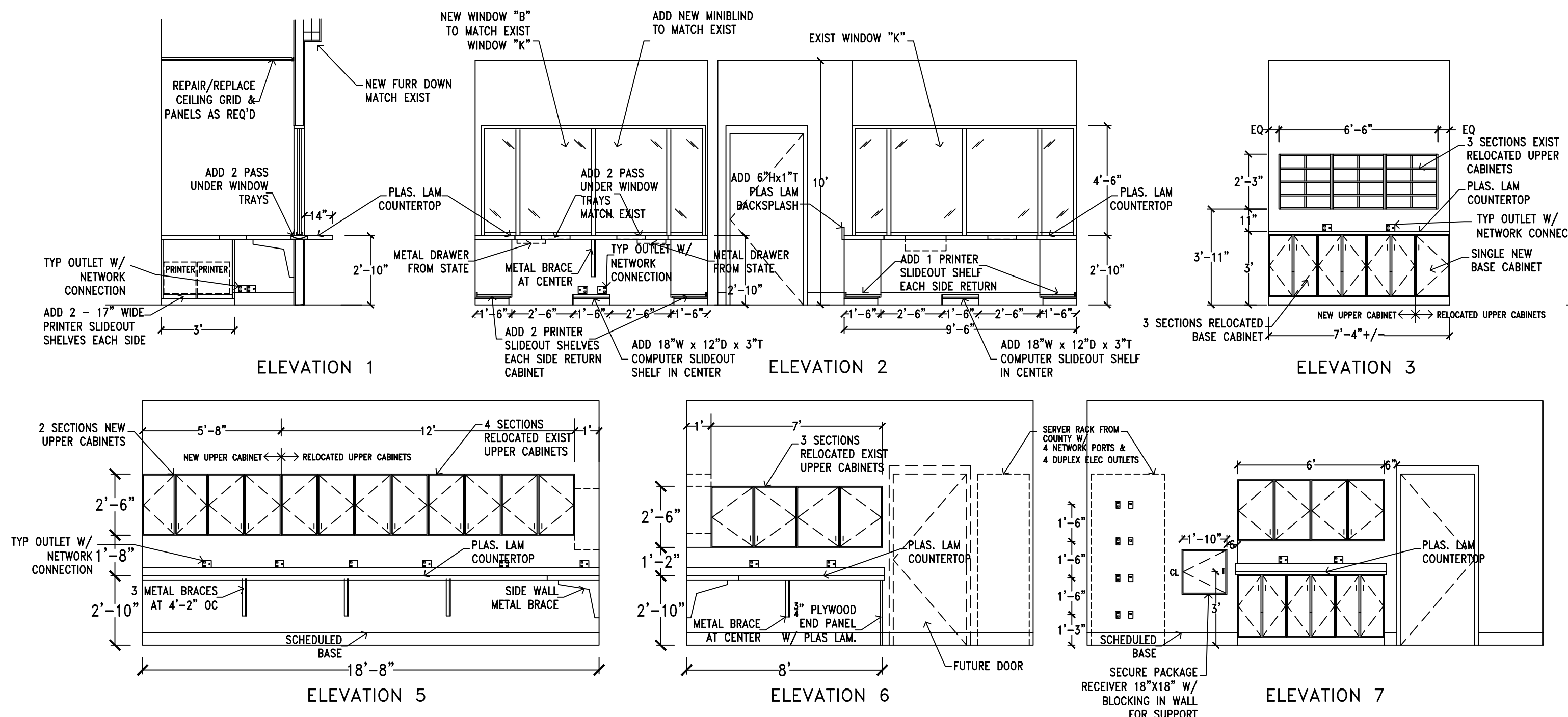
- GENERAL NOTES:**
1. AREA 2 - CONSTABLES OFFICES TO HAVE WORK COMPLETED BEFORE START OF WORK ON THE TAX OFFICE
 2. TAX OFFICE TELLER SPACE TO BE CONSTRUCTED WITH LITTLE TO NO INTERRUPTION OF THE OPERATION OF BUSINESS IN THE TAX OFFICE. TAX OFFICE MAY BE CLOSED DURING A MINIMUM NUMBER OF DAYS TO FACILITATE THE WORK. COORDINATE SPECIFIC DAYS THAT WORK MAY BE DONE AFTER HOURS OR ON WEEK-ENDS BEFORE CLOSING THE TAX OFFICE FOR SPECIFIC WORK. GIVE AT LEAST 10 DAY NOTICE OF THE REQUEST FOR CLOSURE.
 3. ALL EXISTING CABINETS TO BE REUSED & REFURBISHED AS PRACTICAL, IF NOT PRACTICAL DISCUSS WITH ARCHITECT FOR RESOLUTION.
 4. ALL NEW WALLS TO RECEIVE 4" METAL STUDS AT 16" OC W/ R-13 BATT INSULATION & 5/8" FIRE CODE GYP BD EACH SIDE OF WALL TO ROOF DECK ABOVE EXISTING CEILING GRID
 5. MATCH EXISTING BASE IN EACH RENOVATED ROOM



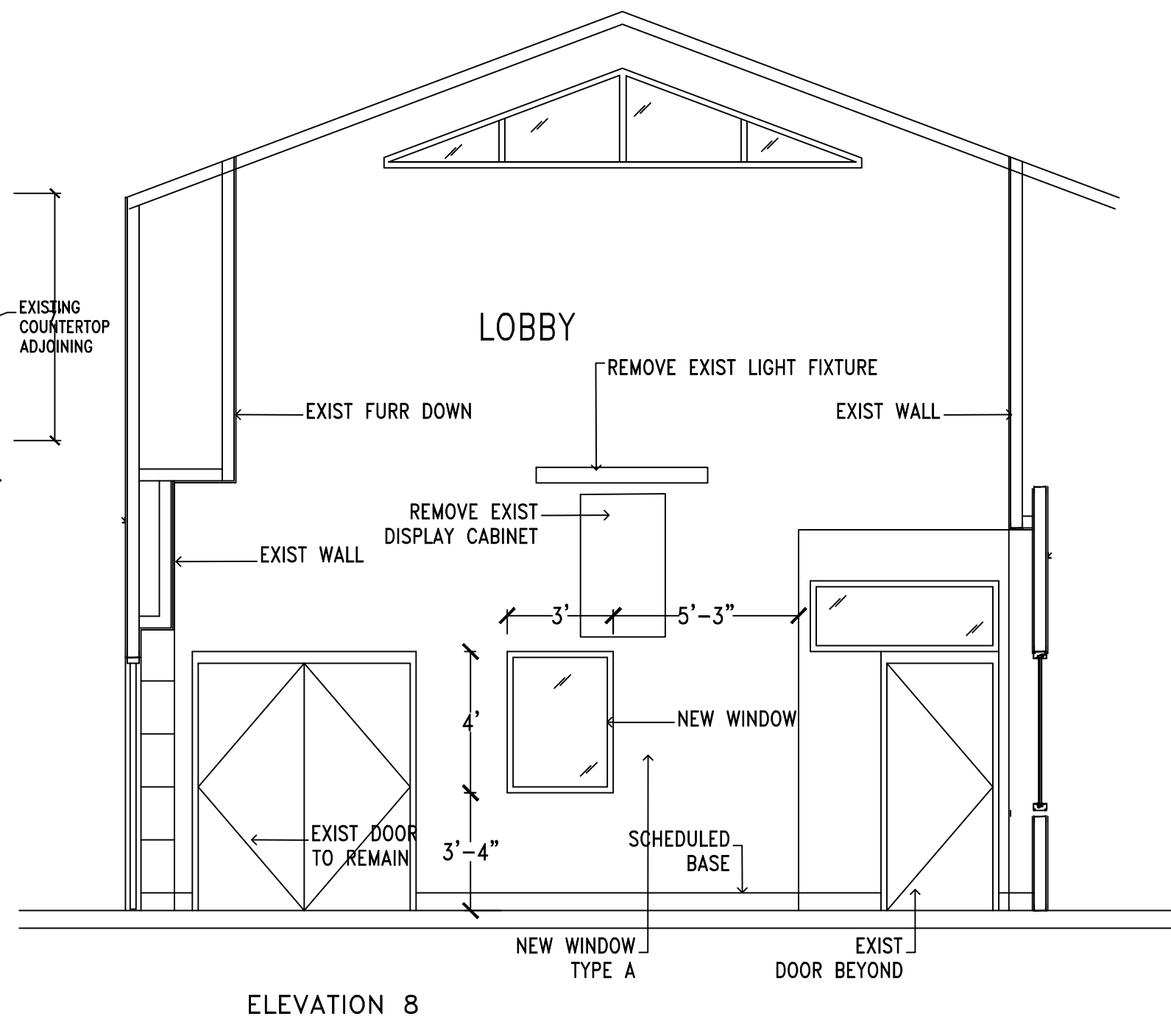
3 PROPOSED WINDOW & DOOR ELEVATIONS
Scale: 3/16" = 1'-0"



4 PROPOSED CABINET SECTIONS
Scale: 3/16" = 1'-0"



5 PROPOSED INTERIOR ELEVATIONS
Scale: 1/4" = 1'-0"



ELEVATION 8

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LUIS ROMERO BUILDING - LOS FRESNOS ANNEX
REMODELING OF TAX & CONSTABLE OFFICES
745 W. OCEAN BLVD, LOS FRESNOS, TEXAS
INTERIOR ELEVATIONS & CABINET DETAILS

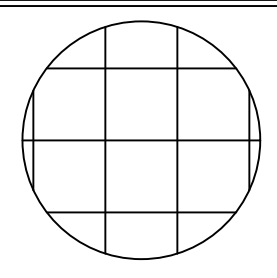


DATE: 10-31-2023
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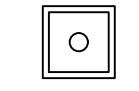
NO.	DATE	REVISIONS
1	12-4-23	PHASES CABINET DIMS WINDOW BARS

DRAWN BY: SK
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DATE: 10-31-2023
SHEET NO. A2.0

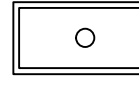
CEILING LEGEND & NOTES



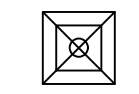
24"x24"x3/4" SUSPENDED CEILING TILES TO MATCH EXISTING SIZE & MODEL ON GRID SYSTEM TO MATCH EXISTING SIZE & COLOR



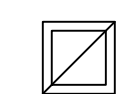
24"x 24" LED RECESSED LIGHT FIXTURE



24"x 48" LED RECESSED LIGHT FIXTURE



24"x 24" HVAC SUPPLY DIFFUSER DUCT

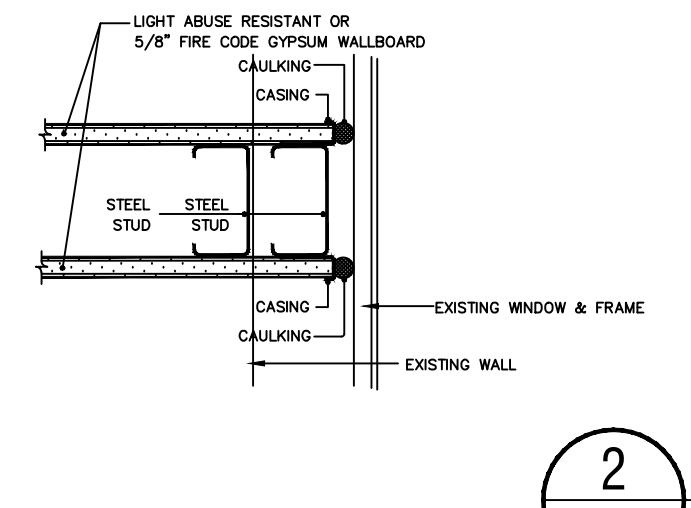
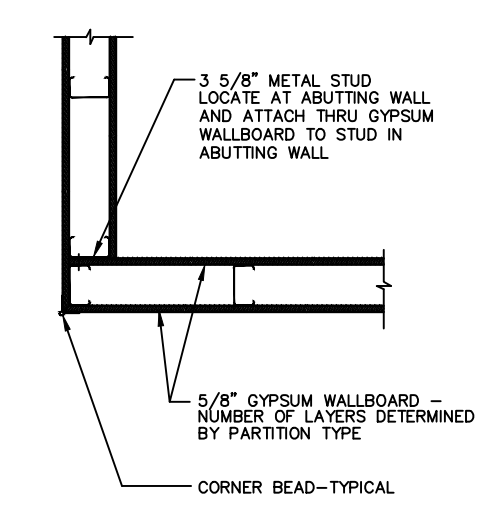
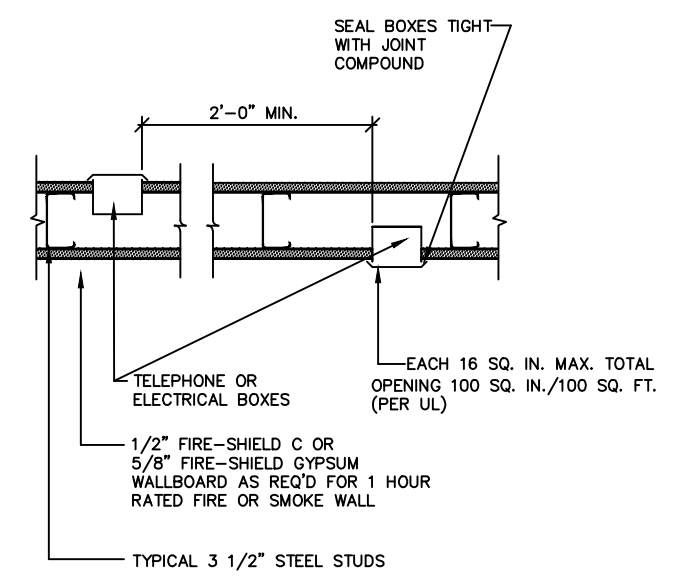
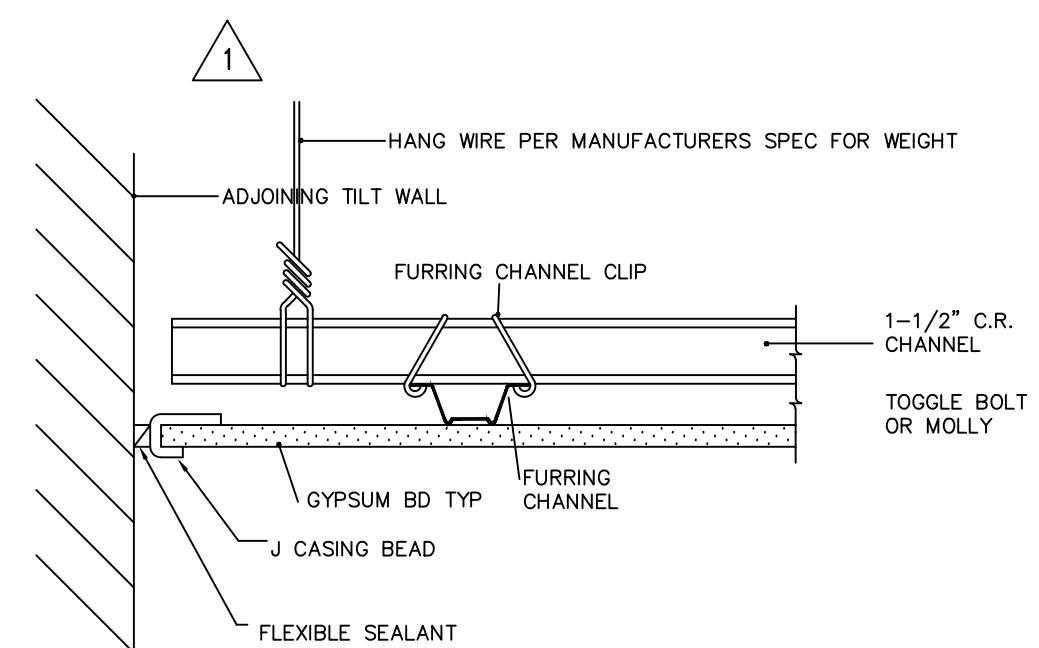
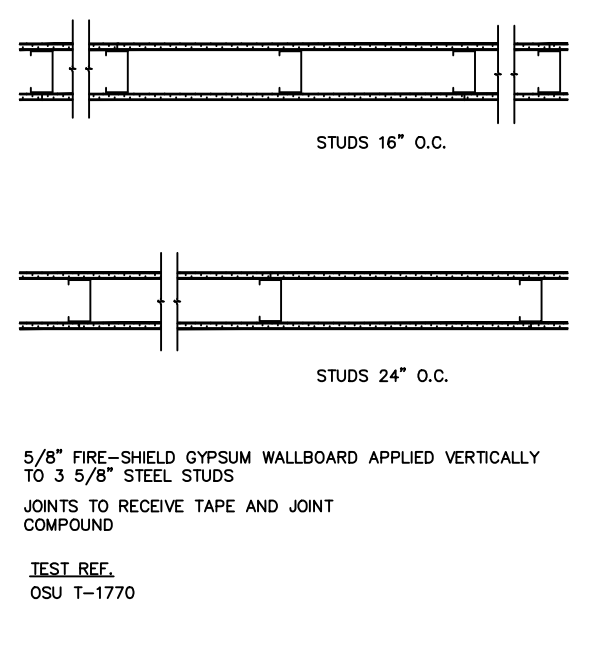
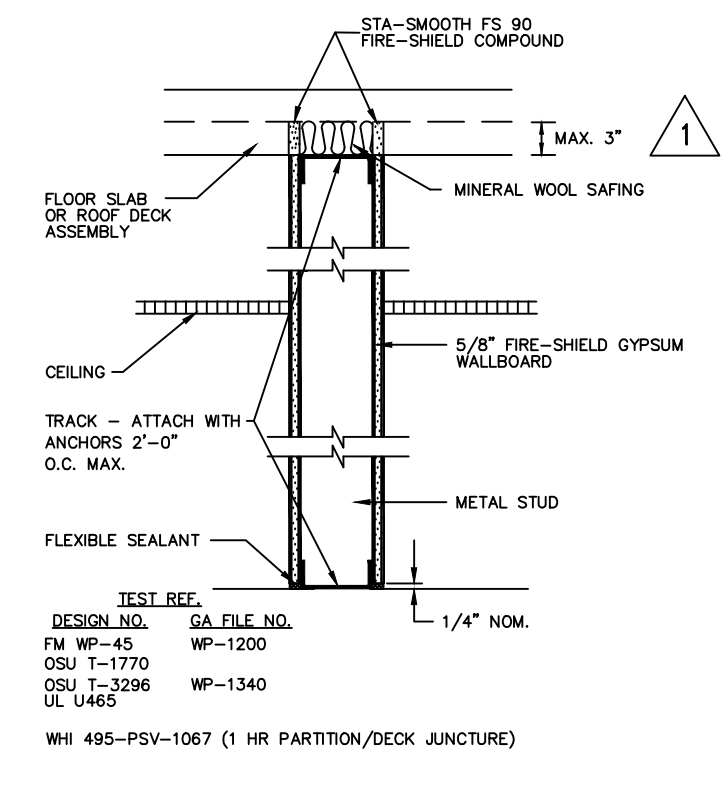


24"x 24" TRANSFER DUCT

1. REMOVE & RELOCATE CEILING GRID FOR EACH ROOM AS REQUIRED TO LOCATE EACH LIGHT FIXTURE & AC DIFFUSER AS SHOWN ON ARCHITECTURAL CEILING PLAN NOT ELECTRICAL PLAN &/OR MECHANICAL PLAN
2. NO CEILING TILE SHALL BE LESS THAN AN 8" DIMENSION IN EITHER DIRECTION
3. EXISTING CEILING TILE & CEILING GRID MAY BE REUSED IF NOT DAMAGED OR DISCOLORED.
4. IF CEILING TILES ARE DIFFERENT COLOR BUT NOT DAMAGED, USE ALL IN ONE ROOM & ALL NEW TILE IN SEPARATE ROOM. DO NOT USE MIX OF OLD & NEW IF THE COLOR OR TEXTURE IS EASILY NOTED VISUALLY.
5. PLACE NEW CEILING GRID AND CEILING TILES AS REQUIRED FOR EACH ROOM.
6. FOR LIGHTING USE ALL NOTED ITEMS ON ELECTRICAL PLAN
7. FOR MECHANICAL CEILING ITEMS USE MECHANICAL PLAN



1 PROPOSED CEILING PLAN
Scale: 3/16" = 1'-0"



2 PROPOSED WALL & CEILING DETAILS
Scale: 3/16" = 1'-0"

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REMODELING OF TAX & CONSTABLE OFFICES
745 W. OCEAN BLVD, LOS FRESNOS, TEXAS
PROPOSED DEMOLITION PLAN**



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NO.	DATE	REVISIONS
1	12-4-23	PHASES, DOOR BY COUNTY

DRAWN BY: SK CHECKED BY: SCK
DATE: 10-31-2023

SHEET NO. **A3.0**